



Board of Adjustment Staff Report

Meeting Date: October 3, 2019

Agenda Item: 8D

ADMINISTRATIVE CASE NUMBER: WADMIN19-0016 (DeMartini Garage)

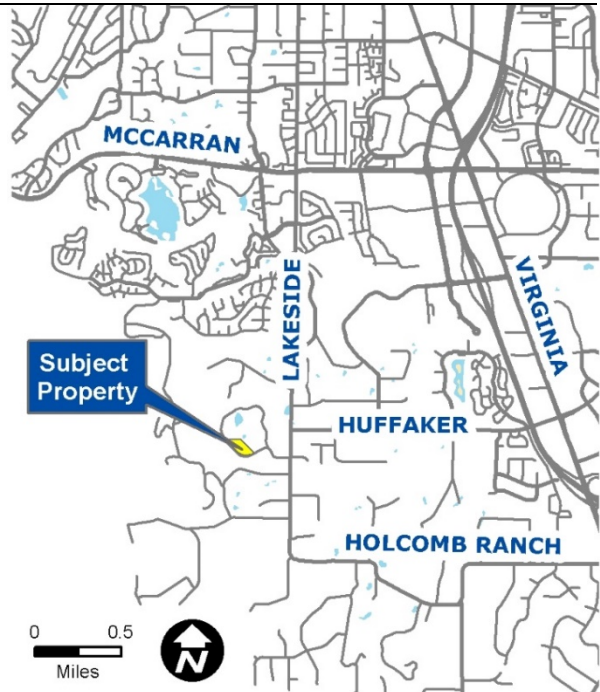
BRIEF SUMMARY OF REQUEST: Approval of a detached accessory structure larger than the main dwelling.

STAFF PLANNER: Planner's Name: Sophia Kirschenman
Phone Number: 775.328.3623
E-mail: Skirschenman@washoecounty.us

CASE DESCRIPTION

For possible action, hearing, and discussion to approve a 9,000 sq. ft. accessory structure to be used as a garage for antique cars. The new structure will have a larger building footprint than that of the existing residence and will replace an existing barn.

Applicant/Property Owner: James R. DeMartini Trust
Location: 2400 Kinney Lane, Reno, NV 89511
APN: 222-073-03
Parcel Size: 5 Acres
Master Plan: Rural Residential (RR)
Regulatory Zone: High Density Rural (HDR)
Area Plan: Southwest Truckee Meadows
Citizen Advisory Board: South Truckee Meadows/Washoe Valley (STM/WV)
Development Code: Authorized in Article 808, Administrative Permits and Article 306, Accessory Uses and Structures
Commission District: 2 – Commissioner Lucey



STAFF RECOMMENDATION

APPROVE

APPROVE WITH CONDITIONS

DENY

POSSIBLE MOTION

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN19-0016 for Mr. and Mrs. James DeMartini, having made all five findings in accordance with Washoe County Development Code Section 110.808.25 and the required finding in accordance with the Southwest Truckee Meadows Area Plan.

(Motion with Findings on Page 13)

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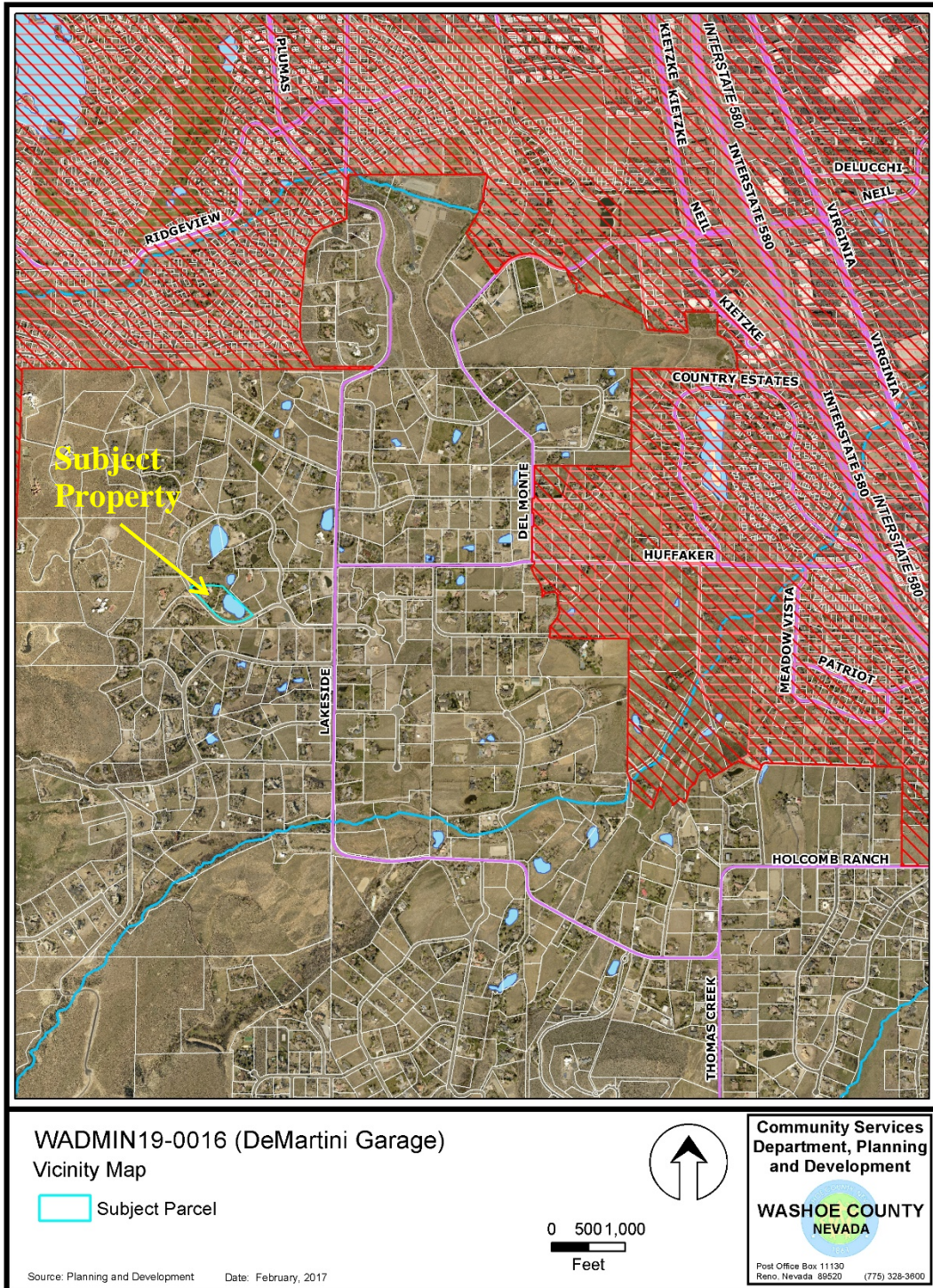
Project Application Exhibit G

Administrative Permit Definition

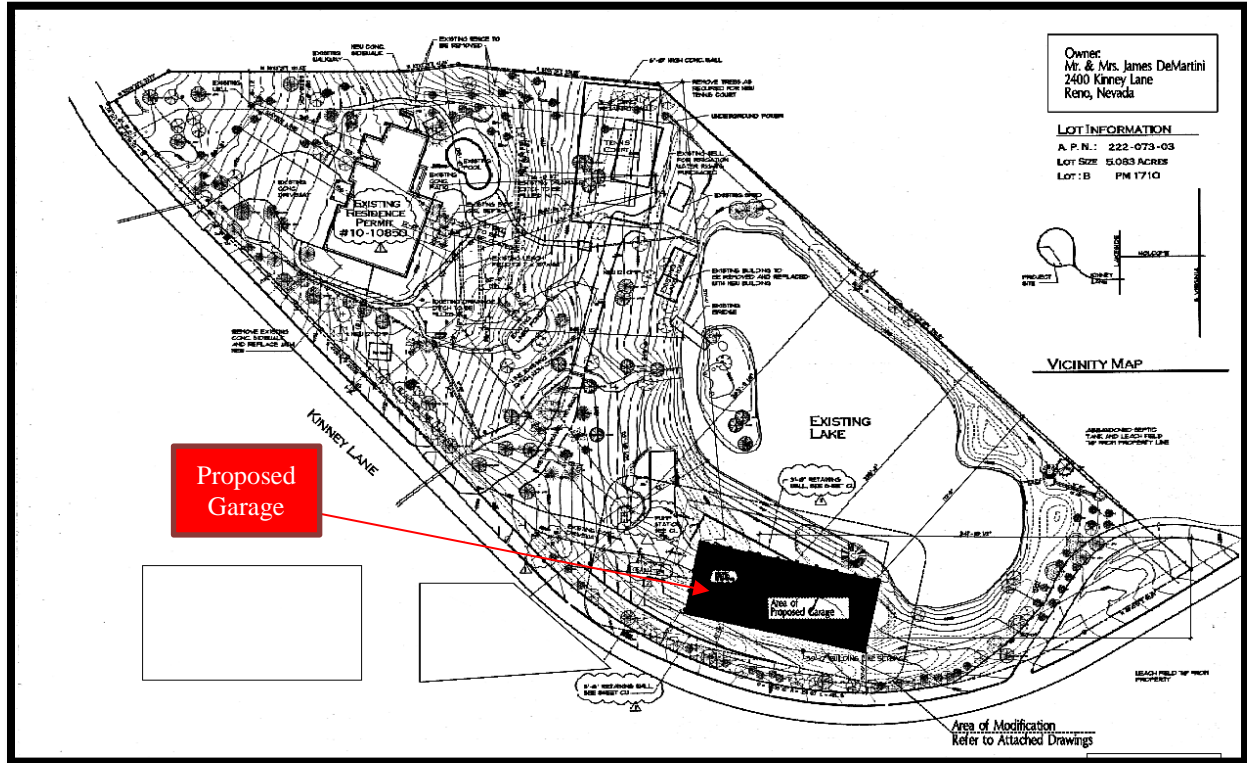
The purpose of an administrative permit is to provide a method of review for a proposed use which possesses characteristics that require a thorough appraisal in order to determine if the use has the potential to adversely affect other land uses, transportation or facilities in the vicinity. The Board of Adjustment or the Hearing Examiner may require conditions of approval necessary to eliminate, mitigate, or minimize to an acceptable level any potentially adverse effects of a use, or to specify the terms under which commencement and operation of the use must comply. Prior to approving an application for an administrative permit, the Board of Adjustment must find that all of the required findings, if applicable, are true.

The conditions of approval (Exhibit A) for Administrative Permit Case Number WADMIN19-0016 are attached to this staff report and will be included with the action order, if approved.

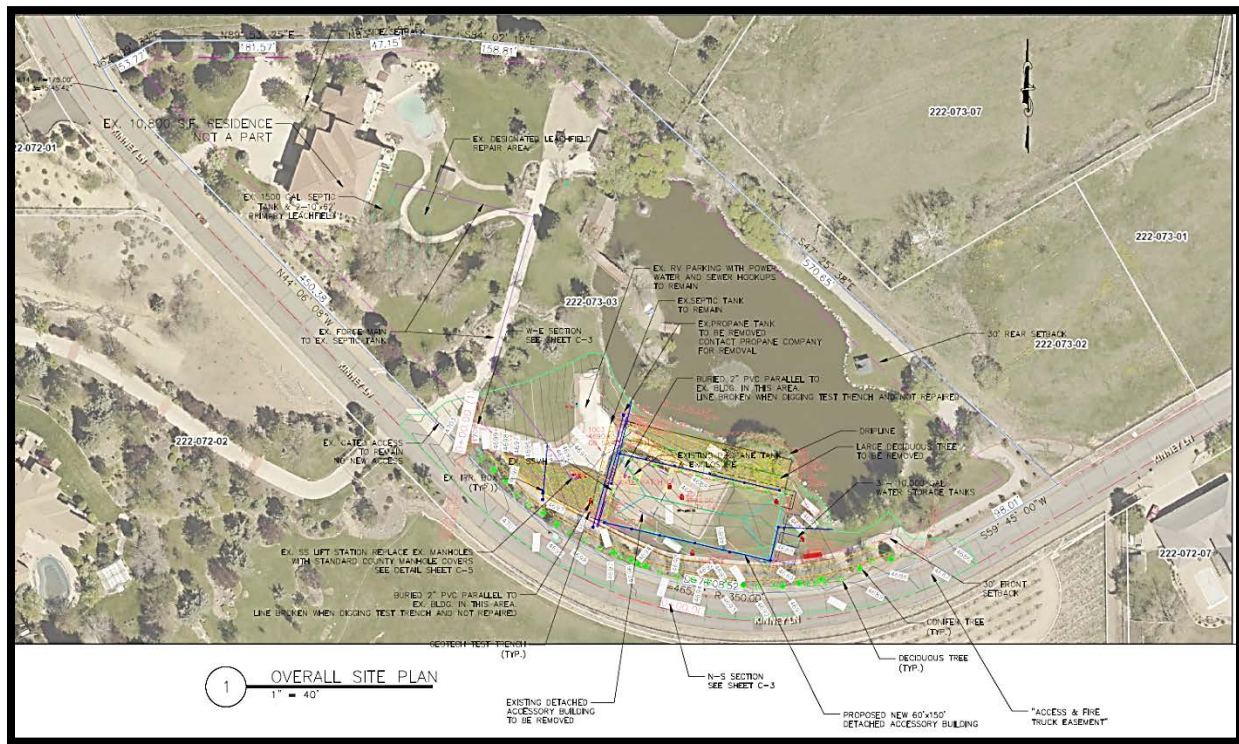
The subject property is designated as High Density Rural (HDR). Detached accessory structures that have a larger building footprint than the existing main structure are an allowed use in this regulatory zone, subject to approval of an administrative permit pursuant to Washoe County Development Code (WCC) Section 110.306.10(d). Thus, the applicant is seeking approval of Administrative Permit Case Number WADMIN19-0016 by the Board of Adjustment.



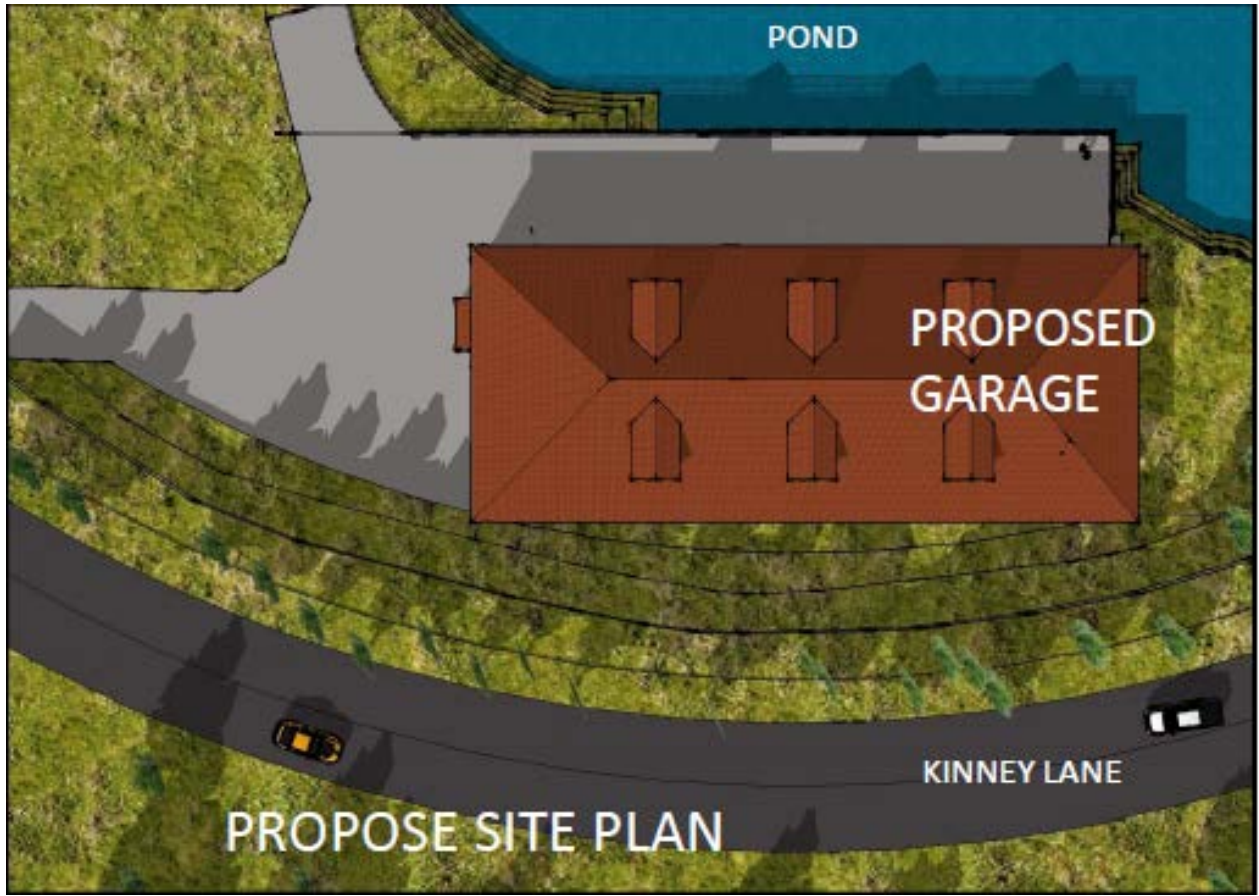
Vicinity Map



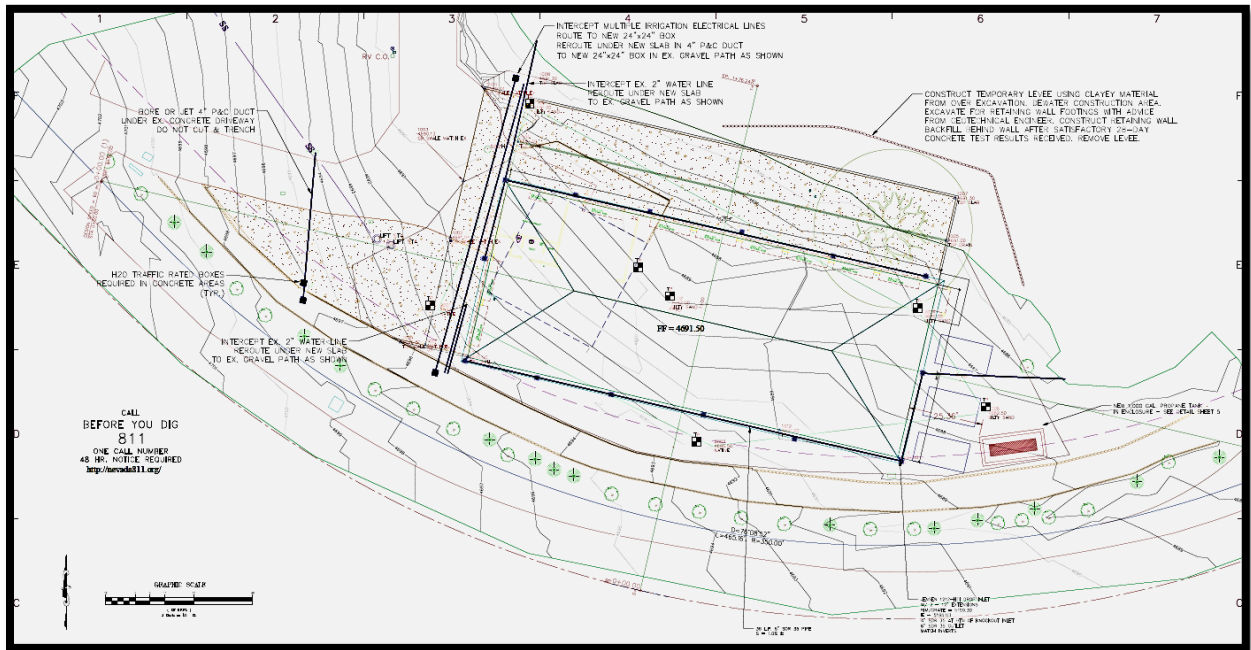
Site Plan



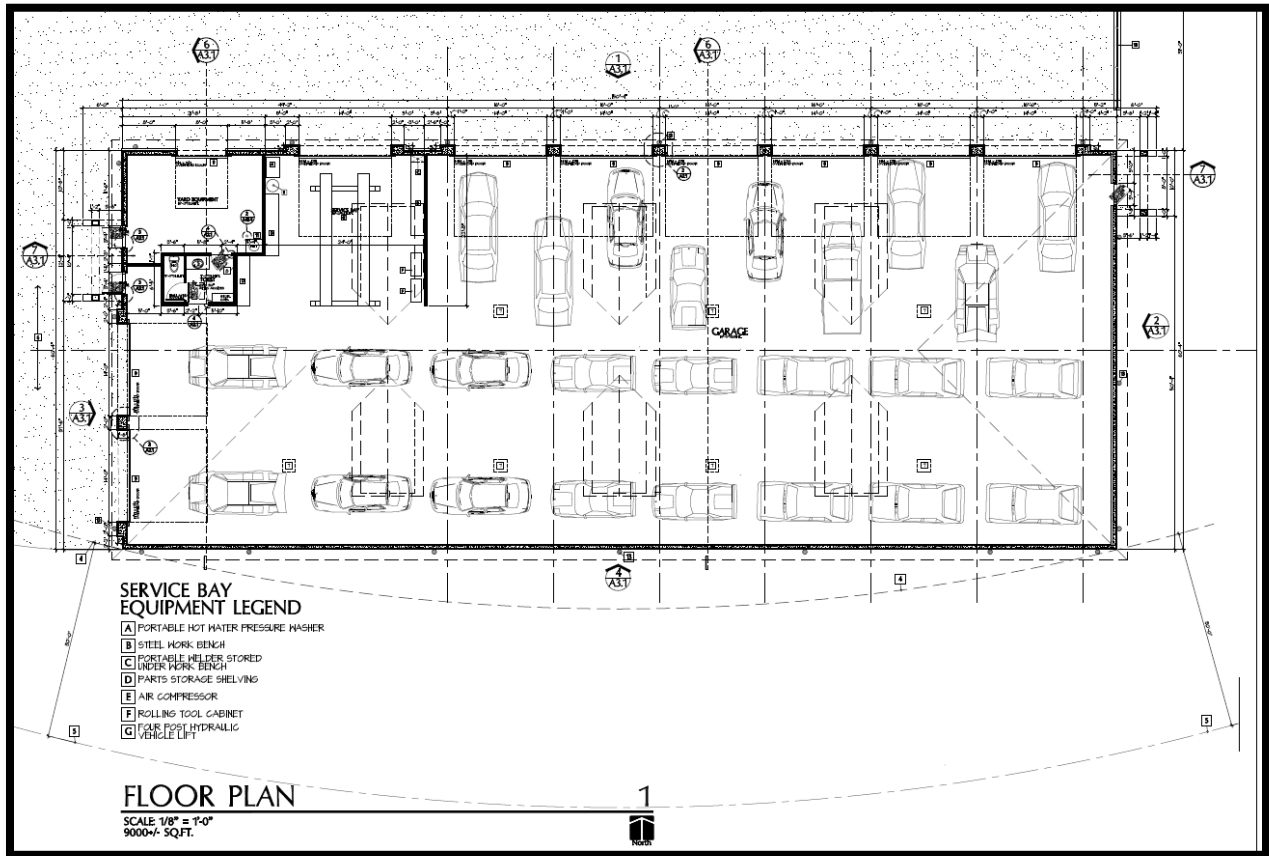
Site Plan



Site Plan



Detailed Site Plan



Floor Plan

Project Evaluation

The applicant is seeking to construct a 9,000 sq. ft. detached accessory structure on the southern portion of a roughly 5-acre parcel, between an existing pond on the parcel and Kinney Lane. The main dwelling on the property is ±10,800 square feet and is located northwest of the proposed accessory structure. While the square footage of the main dwelling is larger than that of the accessory structure, the building footprint of the main dwelling is roughly 5,000 sq. ft., smaller than that of the proposed structure. Pursuant to WCC Section 110.306.10(d), a proposed accessory structure with a larger building footprint than the main dwelling is allowed subject to approval of an administrative permit by the Board of Adjustment.

The accessory structure will be used as a 25-car garage to house the property owners' antique car collection and will include electrical connection and plumbing to serve the proposed bathroom. There is an existing 3,200 sq. ft. structure to be demolished. The property is designated as High Density Rural (HDR) and the setback requirements are 30 feet in the front and rear yards and 15 feet in the side yards. The proposed garage satisfies the setback requirements.

Lighting, Design and Noise

The design of the accessory structure will be consistent with that of the main dwelling. The concrete building will be coated in stucco with metal roofs, man doors and garage doors. The metal materials used on the accessory structure will be painted to match the main dwelling. The lighting will consist of recessed, waterproof down lights at the garage doors and porches. No pole or wall lighting is proposed, thus maintaining the dark sky standards described in the Southwest Truckee Meadows Area Plan. Additionally, the proposed garage will be situated with the garage doors facing to the east and north, away from Kinney Lane. It is the opinion of staff that noise impacts associated with any mechanical work that would occur in this building would be minor due to the position of the building and composition of building materials.



Design of the Proposed Garage

Grading

As part of building construction, the applicant is proposing to create a temporary levee in the pond, so that water can be removed from the area where the retaining walls will be located and footings for the retaining walls can be installed. After the retaining walls are erected, the levee will be removed. The removal of a large deciduous tree near the pond and a minor amount of

excavation and infill is proposed as part of this process. Per Condition of Approval 3.a., a complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when the applicant applies for building and grading permits, as necessary. All grading shall comply with WCC Article 438, *Grading Standards*. Per Condition of Approval 1.d., the Washoe County Planning and Building Division is requesting that the removed tree be replaced with two other deciduous trees elsewhere on the property.

Visual Impacts and Surrounding Properties

The subject property is located in a residential area and the surrounding parcels are zoned HDR. Many of the properties nearby have detached accessory structures, including barns, garages, and other storage facilities. While this would be a large accessory structure, it is consistent with the character of the neighborhood. The accessory structure is proposed to be ±32 feet in height, roughly 6 feet taller than the existing barn. The elevation at the site location is slightly lower than Kinney Lane and the main dwelling. Additionally, the subject site is well screened by a number of trees and shrubs, offsetting some visual impacts. However, it should be noted that the existing barn is easily seen from Kinney Dr. and neighboring properties, so scenic impacts on surrounding property owners are expected. It is the opinion of staff that the scenic impacts would be minor in nature and would not significantly alter the viewsheds. Additionally, due to the location and size of existing vegetation along the property boundary, staff finds that requiring the applicant to plant additional shrubs to further mitigate any visual impacts would likely be unsuccessful.



Photo of the Existing Barn from Kinney Lane



Southeast View of the Existing Barn



Photo of the Subject Site from a Neighboring Property

Southwest Truckee Meadows Area Plan:

The applicable Southwest Truckee Meadows Area Plan policies are:

SW.2.5 Any lighting proposed must show how it is consistent with current best practice “dark-sky” standards. In subdivisions established after the date of final adoption of this plan the use of streetlights will be minimized.

Staff Comment: As mentioned above, lighting of the proposed garage will be minimal, consisting only of recessed down lights at the garage doors and porches. No pole or wall lighting is proposed, thus maintaining the neighborhood’s dark sky standards.

SW.2.14 The approval of all special use permits and administrative permits must include a finding that the community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts. Mitigation measures shall be reviewed by the Washoe County Planning Commission [Board of Adjustment] as well as by the relevant Citizen Advisory Board.

Staff Comment: The character statement describes this area as mainly suburban with a decidedly rural character, composed of mature communities. Impacts related to the construction of the proposed accessory structure will be minor in nature. Therefore, staff believes that this finding can be made.

South Truckee Meadows/Washoe Valley Citizen Advisory Board (STM/WV CAB)

This item was reviewed at the regularly scheduled STM/WV CAB meeting on September 5, 2019. The board members asked a number of clarifying questions about the proposed building materials, height, site elevation, noise abatement, and traffic. One neighboring property owner, Dr. Mitch Strominger, was present and asked several questions regarding the service bay equipment included in the proposal and why such equipment is necessary. He also expressed concerns regarding visual impacts and potential commercial uses, and questioned whether outside visitors would be utilizing the building on a frequent basis. He also showed several photos taken from his house to better illustrate visual impacts.

The consultant stated that they would comply with Washoe County Building Code requirements and that construction of the building would incorporate all necessary infrastructures. The consultant also assured this community member that the property owner would not be using the garage as any sort of commercial use. Board Member Dave Snelgrove stated that the additional 6 inches in height would be well concealed by existing trees and that while the building would be visible from the road and neighboring properties, it would not likely block any significant views. Mr. Snelgrove then recommended that staff condition the permit to limit the hours of operation to no later than 8:00 pm in order to minimize noise impacts and to include a condition stating that the garage shall not operate as a business. Commercial operations are not permitted in the HDR regulatory zone, so it is of the opinion of staff that a condition limiting the hours of operation and ensuring that the garage is not utilized for commercial purposes is unnecessary. As stated above, staff also believe that noise impacts will be minimal due to the building materials and positioning of the proposed garage. The board voted unanimously to approve the project. (See Exhibit B – STM/WV Draft CAB Minutes)

It should also be noted that staff received an email from Dr. Strominger prior to the CAB meeting and conducted a site visit to view the location of the proposed development from Dr. Strominger’s property. While the proposed development will be visible from neighboring properties and Kinney Lane, it is of the opinion of staff that the site is well screened by existing vegetation and that scenic impacts will be minimal.

Reviewing Agencies

The following agencies received a copy of the project application for review and evaluation.

- Washoe County Community Services Department
 - Engineering and Capital Projects Division
 - Planning and Building Division
- Washoe County Health District
 - Air Quality Division
 - Environmental Health Services Division
- Truckee Meadows Fire Protection District
- Washoe-Storey Conservation District

Three of the six above listed agencies/departments provided comments and/or recommended conditions of approval in response to their evaluation of the project application. A **summary** of each agency's comments and/or recommended conditions of approval and their contact information is provided. The conditions of approval document is attached to this staff report and will be included with the action order, if approved.

- Washoe County Planning Division addressed construction plans, building/grading permits, landscaping requirements and cultural resources.
Contact – Sophia Kirschenman, 775.328.3623, skirschenman@washoecounty.us
- Washoe County Building Division addressed fire suppression and alarm requirements.
Contact – Dan Holly, 775.328.2027, dholly@washoecounty.us
- Washoe County Engineering and Capital Projects Division addressed grading requirements.
Contact – Leo Vesely, 775.328.2313, lvesely@washoecounty.us

Staff Comment on Required Findings

WCC 110.808.25 requires that all of the following findings be made to the satisfaction of the Washoe County Board of Adjustment before granting approval of the administrative permit request. Staff has completed an analysis of the application and has determined that the proposal is in compliance with the required findings as follows.

1. **Consistency.** That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan.

Staff Comment: There are no action programs, policies, standards or maps of the Master Plan or Southwest Truckee Meadows Area Plan (SWTMAP) that prohibit the construction of a detached accessory structure (DAS) or which limits the size and/or materials used in the construction of a DAS. As mentioned above, the proposed DAS complies with the two applicable SWTMAP policies.

2. **Improvements.** That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven.

Staff Comment: The proposed DAS will be served by existing roadways and utilities.

3. **Site Suitability.** That the site is physically suitable for a detached accessory structure that has a larger building footprint than that of the main dwelling on the parcel, and for the intensity of such a development.

Staff Comment: The 5-acre parcel contains adequate space and is physically suitable to accommodate the structure.

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

Staff Comment: While the proposed structure will be visible from nearby properties, it will be well screened by existing vegetation and will not be significantly detrimental to public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area.

5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Staff Comment: There is no military installation within the required noticing area for this request. Therefore, this finding is not applicable.

Staff Comment on Required Southwest Truckee Meadows Area Plan Finding

SW.2.14 The approval of all special use permits and administrative permits must include a finding that the community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts. Mitigation measures shall be reviewed by the Washoe County Planning Commission [Board of Adjustment] as well as by the relevant Citizen Advisory Board.

Staff Comment: The character statement describes this area as mainly suburban with a decidedly rural character, composed of mature communities. Impacts related to the construction of the proposed accessory structure will be minor in nature. Therefore, staff believes that this finding can be made.

Recommendation

Those agencies which reviewed the application recommended conditions in support of approval of the project. Therefore, after a thorough analysis and review, Administrative Permit Case Number WADMIN19-0016 is being recommended for approval with conditions. Staff offers the following motion for the Board's consideration.

Motion

I move that, after giving reasoned consideration to the information contained in the staff report and information received during the public hearing, the Board of Adjustment approve Administrative Permit Case Number WADMIN19-0016 for Mr. and Mrs. James DeMartini having made all five findings in accordance with Washoe County Development Code Section 110.808.25 and the required finding in accordance with the Southwest Truckee Meadows Area Plan:

1. Consistency. That the proposed use is consistent with the action programs, policies, standards and maps of the Master Plan and the Southwest Truckee Meadows Area Plan;
2. Improvements. That adequate utilities, roadway improvements, sanitation, water supply, drainage, and other necessary facilities have been provided, the proposed improvements are properly related to existing and proposed roadways, and an adequate public facilities determination has been made in accordance with Division Seven;
3. Site Suitability. That the site is physically suitable for a detached accessory structure that has a larger building footprint than that of the main dwelling on the parcel, and for the intensity of such a development;

4. Issuance Not Detrimental. That issuance of the permit will not be significantly detrimental to the public health, safety or welfare; injurious to the property or improvements of adjacent properties; or detrimental to the character of the surrounding area;
5. Effect on a Military Installation. Issuance of the permit will not have a detrimental effect on the location, purpose or mission of the military installation.

Required Finding for Administrative Permits within the Southwest Truckee Meadows Area Plan

SW.2.14 The approval of all special use permits and administrative permits must include a finding that the community character as described in the character statement can be adequately conserved through mitigation of any identified potential negative impacts. Mitigation measures shall be reviewed by the Washoe County Planning Commission [Board of Adjustment] as well as by the relevant Citizen Advisory Board.

Appeal Process

Board of Adjustment action will be effective 10 calendar days after the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant, unless the action is appealed to the Washoe County Board of County Commissioners, in which case the outcome of the appeal shall be determined by the Washoe County Board of County Commissioners. Any appeal must be filed in writing with the Planning and Building Division within 10 calendar days from the date the written decision is filed with the Secretary to the Board of Adjustment and mailed to the original applicant.

Applicant/Property Owner: James R DeMartini Trust
2400 Kinney Lane
Reno, NV 89511

Consultant: John C. Matetich
3610 Salerno Dr.
Reno, NV 89509



Conditions of Approval

Administrative Permit Case Number WADMIN19-0016

The project approved under Administrative Permit Case Number WADMIN19-0016 shall be carried out in accordance with the conditions of approval granted by the Board of Adjustment on October 3, 2019. Conditions of approval are requirements placed on a permit or development by each reviewing agency. These conditions of approval may require submittal of documents, applications, fees, inspections, amendments to plans, and more. These conditions do not relieve the applicant of the obligation to obtain any other approvals and licenses from relevant authorities required under any other act or to abide by all other generally applicable codes, and neither these conditions nor the approval by the County of this project/use override or negate any other applicable restrictions on uses or development on the property.

Unless otherwise specified, all conditions related to the approval of this administrative permit shall be met or financial assurance must be provided to satisfy the conditions of approval prior to issuance of a grading or building permit. The agency responsible for determining compliance with a specific condition shall determine whether the condition must be fully completed or whether the applicant shall be offered the option of providing financial assurance. All agreements, easements, or other documentation required by these conditions shall have a copy filed with the County Engineer and the Planning and Building Division.

Compliance with the conditions of approval related to this administrative permit is the responsibility of the applicant, his/her successor in interest, and all owners, assignees, and occupants of the property and their successors in interest. Failure to comply with any of the conditions imposed in the approval of the administrative permit may result in the initiation of revocation procedures.

Operational conditions are subject to review by the Planning and Building Division prior to the renewal of a business license each year. Failure to adhere to the operational conditions may result in the Planning and Building Division recommending that the business license not be renewed until conditions are complied with to the satisfaction of Washoe County.

Washoe County reserves the right to review and revise the conditions of approval related to this Administrative Permit should it be determined that a subsequent license or permit issued by Washoe County violates the intent of this approval.

For the purpose of conditions imposed by Washoe County, “may” is permissive and “shall” or “must” is mandatory.

Conditions of approval are usually complied with at different stages of the proposed project. Those stages are typically:

- Prior to permit issuance (i.e., grading permits, building permits, etc.).
- Prior to obtaining a final inspection and/or a certificate of occupancy.
- Prior to the issuance of a business license or other permits/licenses.
- Some “conditions of approval” are referred to as “operational conditions.” These conditions must be continually complied with for the life of the project or business.

FOLLOWING ARE CONDITIONS OF APPROVAL REQUIRED BY THE REVIEWING AGENCIES. EACH CONDITION MUST BE MET TO THE SATISFACTION OF THE ISSUING AGENCY.

Washoe County Planning and Building Division (Planning)

1. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Sophia Kirschenman, Park Planner, 775.328.3623, skirschenman@washoecounty.us

- a. The applicant shall attach a copy of the action order approving this project to all administrative permit applications (including building and/or grading permits) applied for as part of this administrative permit.
- b. The applicant shall demonstrate substantial conformance to the plans approved as part of this administrative permit.
- c. The applicant shall submit complete construction plans and building/grading permits shall be issued within two (2) years from the date of approval by Washoe County. The applicant shall complete construction within the time specified by the building permits.
- d. A mature deciduous tree is proposed to be removed as part of construction. Washoe County Planning is requesting that the applicant plant two other deciduous trees elsewhere on the subject parcel to mitigate the impact of tree removal.
- e. A note shall be placed on all construction drawings and grading plans stating:

NOTE

Should any cairn or grave of a Native American be discovered during site development, work shall temporarily be halted at the specific site and the Sheriff's Office as well as the State Historic Preservation Office of the Department of Conservation and Natural Resources shall be immediately notified per NRS 383.170.

- f. This administrative permit shall remain in effect until or unless it is revoked or is inactive for one year.
- g. Failure to comply with any of the conditions of approval shall render this approval null and void.

Washoe County Planning and Building Division (Building)

2. The following conditions are requirements of the Planning and Building Division, which shall be responsible for determining compliance with these conditions.

Contact Name – Dan Holly, 775.328.2027, dholly@washoecounty.us

- a. A fire suppression and alarm system will be required at the time of construction.

Washoe County Engineering and Capital Projects Division

3. The following condition is a requirement of the Engineering and Capital Projects Division, which shall be responsible for determining compliance with this condition.

Contact Name – Leo Vesely, 775.328.2313, ivesely@washoecounty.us

- a. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Any necessary grading shall comply with WCC Article 438, *Grading Standards*.

*** End of Conditions ***



South Truckee Meadows/Washoe Valley Citizen Advisory Board

DRAFT: Approval of these draft minutes, or any changes to the draft minutes, will be reflected in writing in the next meeting minutes and/or in the minutes of any future meeting where changes to these minutes are approved by the CAB. Minutes of the regular meeting of the South Truckee Meadows/Washoe Valley Citizen Advisory Board held September 5, 2019 6:00 p.m. the South Valleys Library at 15650A Wedge Parkway, Reno, Nevada.

1. *CALL TO ORDER/ DETERMINATION OF QUORUM - Meeting was called to order at by Patricia Phillips at 6:05 p.m.

Member: Wesley Mewes, Patricia Phillips, Tom Burkhardt, David Snelgrove (arrived late at 6:09 p.m.). A quorum was determined.

Absent: Kimberly Rossiter (excused), Shaun O’Harra (excused)

2. *PLEDGE OF ALLEGIANCE - the Pledge of Allegiance was recited.

3. *GENERAL PUBLIC COMMENT AND DISCUSSION THEREOF- There were no requests for public comment.

4. APPROVAL OF AGENDA FOR THE MEETING OF September 5, 2019 (for Possible Action) –Tom Burkhardt moved to approve the agenda for **September 5, 2019**. Wesley Mewes seconded the motion to approve the agenda for **September 5, 2019**. Motion carried unanimously.

5. APPROVAL OF THE MINUTES FOR THE MEETING OF AUGUST 1, 2019 (for Possible Action) – Wesley Mewes moved to approve the meeting minutes for **AUGUST 1, 2019**. Tom Burkhardt seconded the motion to approve the meeting minutes. Motion carried unanimously.

6. DEVELOPMENT PROJECTS– The project description is provided below.

6.A. Administrative Permit Case Number WADMIN19-0016 (De Martini Garage) – Request for community feedback, discussion and possible action to forward community and Citizen Advisory Board comments to Washoe County staff on a request for 9,000 sq. ft. accessory structure to be used as a garage for antique cars. The new structure will be larger than the main existing residence building footprint and will replace an existing barn. (for Possible Action)

- **Applicant\Property Owner: James R De Martini Trust**
- **Location: 2400 Kinney Lane**
- **Assessor’s Parcel Number: 222-073-03**
- **Staff: Sophia Kirschenman, Planner, 775-328-3623; skirschenman@washoecounty.us**
- **Reviewing Body: Tentatively scheduled for the Board of Adjustment on October 3, 2019**

Architect/Representative, John Matetich, provided an overview of the proposed garage for antique cars. He said the garage will be 1,600 square feet with a second floor. The garage will be 26 feet tall. He said the garage will match the house architecture. He showed the elevation heights of the proposed garage, house and barn. He spoke about architectural accents and renderings of the proposed garage. He said he did an analysis around the site regarding blocking neighbors’ views. He spoke about ridgelines and existing homes surrounding the subject property. He said there is bad soil that will be used around the property to create berms and landscaping to help conceal. 1,500 cubic yards of soil will be brought in as mix. Addressing Tom Burkhardt’s question, John said the exterior of the building is stucco. Tom wanted to see a rendering from

behind the building. John showed the rear of the building. Patricia asked about the barn house elevation. John said the barn and garage will be same elevation. The house is 10,000 square feet. Dave Snelgrove said the vegetation provides nice screening. John said there will be additional screening. He said they will replace trees that will be removed.

Public comment:

Dr. Mitchell Strominger said he is the closest neighbor. He showed his home on the map. He said he faces the structure. John said Mr. Strominger's home is at 4703 elevation. Mitchell said he looked at the plan; it was proposed for 25 cars to work on. He said he saw equipment such as lifts and compressors and mechanic's bay in the application. John said it's for personal use. Mitchell said he didn't notice a fire suppression plan. He said car carriers will come up and down the road. John said there are no garage doors on the side of Mitchell's home. John spoke about the fire retardant building and security. Mitchell said he is concerned about car carriers and people and mechanics coming in and out.

Patricia Phillips asked about noise abatement with the compressors. John said they are inside the building and won't be able to hear it outside. She asked about expected traffic. John said they don't expect to have any additional traffic other than his normal visitors.

Tom Burkhart said he shouldn't able to run a business out there. 25 cars is a big hobby. He understands the concerns.

Mitchell Strominger said his view will be changed due to this project.

David Snelgrove said anytime you have a big building, future buyers could see it as an opportunity. We should put a recommendation conditioning that they are not allowed to operate a business and specific uses with hour limitations. He said the additional 6 feet will be concealed, but you will be able see a building.

John encouraged Mitchell to speak with the home owner.

David Snelgrove recommended consider limited hours and no commercial use.

MOTION: David Snelgrove moved to forward community and Citizen Advisory Board comments to Washoe County Staff on a request for 9,000 sq. ft. accessory structure to be used as a garage for antique cars (Special Administrative Permit Case Number WADMIN19-0016 (De Martini Garage). He recommended staff consider conditions regarding commercial use and limited hours for noise. Wesley Mewes seconded the motion to forward comments for (Administrative Permit Case Number WADMIN19-0016 (De Martini Garage). The motion passed unanimously.

6.B. Special Use Permit Case Number WSUP19-0018 (Foothill Storage) – Request for community feedback, discussion and possible action to forward community and Citizen Advisory Board comments to Washoe County staff on a request for the establishment of a business use to store operable vehicles at 1525 Geiger Grade. (for Possible Action)

- Applicant\Property Owner: Mary and Melanie Hain
- Location: 1525 Geiger Grade
- Assessor's Parcel Number: 017-051-04
- Staff: Julee Olander, Planner, 775-328-3627; jolander@washoecounty.us

Reviewing Body: Tentatively scheduled for the Board of Adjustment on October 3, 2019

Mark Hain, representative, provided a project overview. The original storage has 50 spaces. He said they received all the other approvals. New facility will have 50 spaces as well. He said they will lease part to motorcycle repair shop. He said their current facility only receives 3 cars a day.

David Snelgrove said he went by the site and noticed it's already full. He asked if the entrance is wide enough for entrance and exit. Mark spoke about the different entrances and exits – all vehicles are facing north bound. David asked if King Lane is right-a-way. Mark said it's an unimproved road. It's a private lane, and not maintained by the County. He said he has invested his own money to improve the road.

Public Comment:

Bruce Bacon provided a letter. He spoke about a road maintenance agreement. He summarized the findings of the 2006 SUP. He said there are deficiencies indicated by red italics. He said the biggest issue he has is that Mr. Hain took it upon himself to fill ditches to bring in RVs; there are no culverts. Bruce said he had a plan for road maintenance and the agreement. Bruce said he recommended culvert and it never happened. He showed pictures of the subject property and where he lives. The road is not improved for commercial use and not adequate for turning of large vehicles. He said Mr. Hain ignores neighbors good will. He will provide this letter regarding the deficiencies. He said he doesn't understand how this would be allowed to expand. He's already doing it without a permit. He was conducting the construction without a permit. He said Mr. Hain illegally stores equipment. He said Washoe County didn't have a recorded document of the agreement. He asked the board to deny this project and design professionals to look into this road.

Mark Hain said he has been dealing with the Bacons since he moved in. He said they tear up the road. He said the roads are wide enough. He said he has worked to repair the road and Mr. Bacon hasn't. He said Mr. Bacon has stolen items off of his property. He said there is no where to install a culvert. He said water flows freely down the road and doesn't go onto the Bacon property. He said the grading was done professionally. David Snelgrove asked why it needed a stamp of approval by an architect. Mark said he is a professional landscaper. David asked if there is a V ditch, Mark said no, but noted other streets with ditches.

Patricia asked about the vacant land on the west side. Mark showed on the map where other proposed development projects such as personal storage and homes. Patricia provided a recommendation to Mark – consider putting a ditch on their side. Mark said there already is a ditch. The water doesn't flow across their property.

David Snelgrove said he understands the need for the project; however, he agreed with the road conditions need to be addressed. He said it's appropriate use, but there are access issues. He also said drainage standards might need attention. He said there are access questions that need to be addressed.

MOTION: Tom Burkhart moved to recommend approval because the use is appropriate, subject to compliance, and forward community and Citizen Advisory Board comments to Washoe County Staff on a request for the establishment of a business use to store operable vehicles at 1525 Geiger Grade (Special Use Permit Case Number WSUP19-0018 (Foothill Storage). David Snelgrove seconded the motion. The motion passed unanimously.

7. *BOARD MEMBER ITEMS – Patricia requested metal structures going up in residential area.

8. *GENERAL PUBLIC COMMENT AND DISCUSSION THEREOF – There were no requests for public comment.

ADJOURNMENT– the meeting adjourned 7:07 p.m.



WASHOE COUNTY

COMMUNITY SERVICES DEPARTMENT

Engineering and Capital Projects

1001 EAST 9TH STREET
RENO, NEVADA 89512
PHONE (775) 328-3600
FAX (775) 328.3699

INTEROFFICE MEMORANDUM

DATE: August 28, 2019

TO: Eric Young, Senior Planner, Planning and Building Division

FROM: Leo Vesely, Engineering and Capital Projects Division

SUBJECT: **WADMIN19-0016**
APN 222-073-03
De Martini Garage

GENERAL PROJECT DISCUSSION

Washoe County Engineering staff has reviewed the above referenced application. The Engineering and Capital Projects Division recommends approval with the following condition

1. A complete set of construction improvement drawings, including an on-site grading plan, shall be submitted when applying for a building/grading permit. Any necessary grading shall comply with County Code Article 438, Grading Standards.

LV/lv



INTEGRITY



EFFECTIVE
COMMUNICATION



QUALITY
PUBLIC SERVICE

From: [Young, Eric](#)
To: [Kirschenman, Sophia](#)
Subject: FW: Administrative Permit Case Number WADMIN19-0016 (De Martini Garage) –
Date: Wednesday, August 28, 2019 3:14:28 PM
Attachments: [image001.png](#)
[image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)



Eric Young

Senior Planner | Community Services Department

eyoung@washoecounty.us | Office: 775.328.3613 Fax: 775.328.6133

1001 East Ninth Street, Reno, NV 89512



From: Holly, Dan
Sent: Wednesday, August 28, 2019 12:50 PM
To: Young, Eric
Subject: Administrative Permit Case Number WADMIN19-0016 (De Martini Garage) –

Eric: I have reviewed this project on behalf of Building. It should be noted that a fire suppression and alarm system will be required at the time of construction. Thank You,

From: [Young, Eric](#)
To: [Kirschenman, Sophia](#)
Subject: FW: WADMIN19-0016 De Martini Garage
Date: Wednesday, September 04, 2019 11:30:45 AM
Attachments: [image002.png](#)
[image003.png](#)
[image004.png](#)
[image005.png](#)
[image006.png](#)



Eric Young

Senior Planner | Community Services Department

eyoung@washoecounty.us | Office: 775.328.3613 Fax: 775.328.6133

1001 East Ninth Street, Reno, NV 89512



From: Mitchell Strominger [mailto:MStrominger@renown.org]
Sent: Wednesday, September 04, 2019 8:09 AM
To: Young, Eric
Subject: WADMIN19-0016 De Martini Garage

[**NOTICE:** This message originated outside of Washoe County -- **DO NOT CLICK** on **links** or open **attachments** unless you are sure the content is safe.]

Thank you for the notice regarding case number WADMIN19-0016 De Martini Garage. I uploaded and looked at the plans, and sure is a big project. I actually live on Frost Lane, but my backyard abuts Kenny on the other side of the Steamboat ditch. Part of my house / property does face north and I am in the process of putting in new picture windows. Unfortunately they will now face towards the proposed structure. Thus to say in the proposal that the structure will not block views or be an eyesore is false.

I also am concerned that given that there will also be mechanic bays and enough storage for over 25 cars, that the garage will be more than just a personal storage area and become somewhat commercialized.

Please keep me informed regarding the hearings. I would also be happy to have members of the planning and building division tour from my property the proposed site.

Thank you

Mitch Strominger

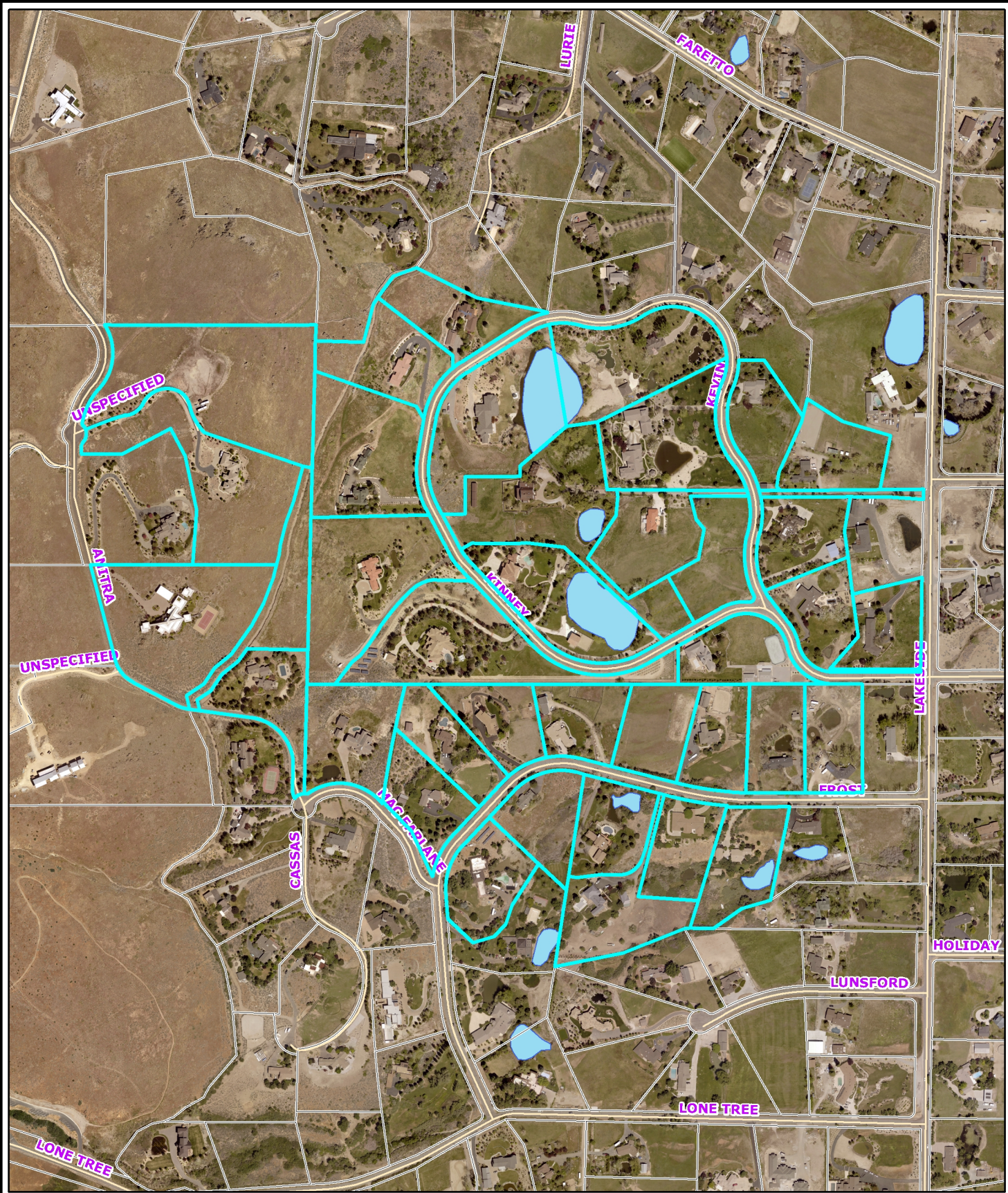
Mitchell B. Strominger, MD, FAAO, FANOS, FAAPOS, FAAP
Pediatric Ophthalmology and Ocular Motility, Neuro-ophthalmology
Professor of Surgery, Ophthalmology and Pediatrics
University of Nevada Reno School of Medicine

WADMIN19-0016
EXHIBIT E

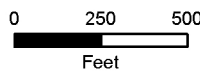
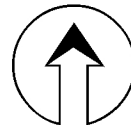


Renown Medical Center
1500 E 2nd St, Suite 300
Reno, Nevada 89502
mstrominger@renown.org

If you have received this message by error, please notify the sender immediately to arrange for return or destruction of these documents. This message is intended for the use of the person or entity to which it is addressed and may contain information that is privileged and confidential, the disclosure of which is governed by applicable law. If you are not the intended recipient, or the employee or agent responsible to deliver it to the intended recipient, you are hereby notified that any disclosure, copying, or distribution of this information is strictly prohibited.



WADMIN19-0016 De Martini Garage
 Noticing Map- 800 feet



Community Services
 Department



1001 E Ninth St
 Reno, Nevada 89502

Washoe County Development Application

Your entire application is a public record. If you have a concern about releasing personal information, please contact Planning and Building staff at 775.328.6100.

Project Information		Staff Assigned Case No.: _____	
Project Name: De Martini Garage			
Project Description: A new Garage to house for antique car collection. 9000 sqft			
Project Address: 2400 Kinney Lane, Reno, Nevada			
Project Area (acres or square feet): 5.083 Acres - 9000 SF. structure			
Project Location (with point of reference to major cross streets AND area locator): Near Kinney Lane and Lakeside			
Assessor's Parcel No.(s):	Parcel Acreage:	Assessor's Parcel No.(s):	Parcel Acreage:
222-073-03	5.083		
Lot B, Pm 1710			
Indicate any previous Washoe County approvals associated with this application: Case No.(s). NA			
Applicant Information (attach additional sheets if necessary)			
Property Owner:		Professional Consultant:	
Name: Mrs. James De Martini		Name: John C. Matetich	
Address: 2400 Kinney Lane		Address: 3610 Salerno Dr.	
Reno, NV. Zip: 89511		Reno, NV. Zip: 89509	
Phone: 209-531-4659 Fax:		Phone: 775-846-1223 Fax:	
Email:		Email: JCmatetich@AOL.com	
Cell: Other:		Cell: 775-852-4027 Other:	
Contact Person:		Contact Person: John Matetich	
Applicant/Developer:		Other Persons to be Contacted:	
Name:		Name: Cell # 775-846-1223	
Address:		Address:	
Zip:		Zip:	
Phone: Fax:		Phone: Fax:	
Email:		Email:	
Cell: Other:		Cell: Other:	
Contact Person:		Contact Person:	
For Office Use Only			
Date Received:	Initial:	Planning Area:	
County Commission District:		Master Plan Designation(s):	
CAB(s):		Regulatory Zoning(s):	

**Administrative Permit Application
Supplemental Information**
(All required information may be separately attached)

1. What is the type of project or use being requested?

Residential Accessory Building - Garage

2. What section of the Washoe County code requires the Administrative permit required?

3. What currently developed portions of the property or existing structures are going to be used with this permit?

None

4. What improvements (e.g. new structures, roadway improvements, utilities, sanitation, water supply, drainage, parking, signs, etc.) will have to be constructed or installed and what is the projected time frame for the completion of each?

New structure & adjacent site work as noted on the drawings. one year or less from approval of permit.

5. Is there a phasing schedule for the construction and completion of the project?

No Phasing. Completion in 1 year from start.

6. What physical characteristics of your location and/or premises are especially suited to deal with the impacts and the intensity of your proposed use?

Little or no impact. New structure is screened by existing landscape on Kinney Drive.

7. What are the anticipated beneficial aspects or effect your project will have on adjacent properties and the community?

New structure will match existing residence in color and Architecture.

8. What will you do to minimize the anticipated negative impacts or effect your project will have on adjacent properties?

There will be no anticipated negative impact on adjacent properties.

9. Please describe any operational parameters and/or voluntary conditions of approval to be imposed on the administrative permit to address community impacts.

None

10. How many improved parking spaces, both on-site and off-site, are available or will be provided? (Please indicate on site plan.)

All Parking will be inside new garage to protect the Antique Car Collection.

11. What types of landscaping (e.g. shrubs, trees, fencing, painting scheme, etc.) are proposed? (Please indicate location on site plan.)

Existing landscape and irrigation.

12. What type of signs and lighting will be provided? On a separate sheet, show a depiction (height, width, construction materials, colors, illumination methods, lighting intensity, base landscaping, etc.) of each sign and the typical lighting standards. (Please indicate location of signs and lights on site plan.)

No Pole or Wall lighting. Only recessed waterproof down lights at garage doors and Porches.

13. Are there any restrictive covenants, recorded conditions, or deed restrictions (CC&Rs) that apply to the area subject to the administrative permit request? (If so, please attach a copy.)

Yes No

14. Utilities:

a. Sewer Service	Existing service - no change
b. Water Service	Existing service - no change

For most uses, the Washoe County Code, Chapter 110, Article 422, Water and Sewer Resource Requirements, requires the dedication of water rights to Washoe County. Please indicate the type and quantity of water rights you have available should dedication be required:

c. Permit #		acre-feet per year	
d. Certificate #		acre-feet per year	
e. Surface Claim #		acre-feet per year	
f. Other, #		acre-feet per year	

Title of those rights (as filed with the State Engineer in the Division of Water Resources of the Department of Conservation and Natural Resources):

N.A.

Property Owner Affidavit

Applicant Name: ANNE DEMARTINI

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, ANNE DEMARTINI
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-073-03

Printed Name ANNE DEMARTINI

Signed Anne DeMartini

Address 5013 JENNINGS RD
MODESTO, CA 95358

Subscribed and sworn to before me this _____ day of _____, _____.

(Notary Stamp)

Notary Public in and for said county and state

My commission expires: _____

See CA Attachment # 2201700

Acknowledgement
 Jurat

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

Subscribed and sworn to (or affirmed) before me on this 24th
day of June, 2019, by Anne Brainard
DeMartini,
proved to me on the basis of satisfactory evidence to be the
person who appeared before me.



(Seal)

Signature

Karin Fuller

Property Owner Affidavit

Applicant Name: JAMES R DeMARTINI

The receipt of this application at the time of submittal does not guarantee the application complies with all requirements of the Washoe County Development Code, the Washoe County Master Plan or the applicable area plan, the applicable regulatory zoning, or that the application is deemed complete and will be processed.

STATE OF NEVADA)
COUNTY OF WASHOE)

I, JAMES R DeMARTINI
(please print name)

being duly sworn, depose and say that I am the owner* of the property or properties involved in this application as listed below and that the foregoing statements and answers herein contained and the information herewith submitted are in all respects complete, true, and correct to the best of my knowledge and belief. I understand that no assurance or guarantee can be given by members of Planning and Building.

(A separate Affidavit must be provided by each property owner named in the title report.)

Assessor Parcel Number(s): 222-073-03

Printed Name JAMES R DeMARTINI

Signed James R DeMarti

Address 5013 JENKINS RD
MODESTO, CA 95358

Subscribed and sworn to before me this
day of _____

(Notary Stamp)

See attached Certificate

Notary Public in and for said county and state

My commission expires: march 11, 2022

See CA Attachment
2057575

Acknowledgement
 Jurat

*Owner refers to the following: (Please mark appropriate box.)

- Owner
- Corporate Officer/Partner (Provide copy of record document indicating authority to sign.)
- Power of Attorney (Provide copy of Power of Attorney.)
- Owner Agent (Provide notarized letter from property owner giving legal authority to agent.)
- Property Agent (Provide copy of record document indicating authority to sign.)
- Letter from Government Agency with Stewardship

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy, or validity of that document.

State of California
County of Stanislaus

Subscribed and sworn to (or affirmed) before me on this 17th
day of June, 2019, by James R. Demartini

proved to me on the basis of satisfactory evidence to be the person(s) who appeared before me.



(Seal)

Signature

A handwritten signature in blue ink, appearing to read "James R. Demartini".

Property Owner Affidavit

Assessor parcel # 222-073-03

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 22207303
 AIN:

Balance Good Through:	07/08/2019
Current Year Balance:	\$0.00
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$0.00

AUTO
 :9535810:

JAMES R DEMARTINI TRUST
 5013 JENNINGS RD
 MODESTO CA 95358

Description:

Situs: 2400 KINNEY LN
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
22207303	2018	2018104241	1	08/20/2018	5,458.41	0.00	0.00	5,458.41	0.00
22207303	2018		2	10/01/2018	5,419.73	0.00	0.00	5,419.73	0.00
22207303	2018		3	01/07/2019	5,419.73	0.00	0.00	5,419.73	0.00
22207303	2018		4	03/04/2019	5,419.72	0.00	0.00	5,419.72	0.00
Current Year Totals					21,717.59	0.00	0.00	21,717.59	0.00

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Property Tax Reminder Notice

WASHOE COUNTY
 PO BOX 30039
 RENO, NV 89520-3039
 775-328-2510

PIN: 22207303
 AIN:

Balance Good Through:	07/08/2019
Current Year Balance:	\$22,778.22
Prior Year(s) Balance: (see below for details)	\$0.00
Total Due:	\$22,778.22

AUTO
 :9535810:

JAMES R DEMARTINI TRUST
 5013 JENNINGS RD
 MODESTO CA 95358

Description:

Situs: 2400 KINNEY LN
 WCTY

This is a courtesy notice. If you have an impound account through your lender or are not sure if you have an impound account and need more information, please contact your lender directly. Please submit payment for the remaining amount(s) according to the due dates shown. Always include your PIN number with your payment. Please visit our website: www.washoecounty.us/treas

Current Charges									
PIN	Year	Bill Number	Inst	Due Date	Charges	Interest	Pen/Fees	Paid	Balance
22207303	2019	2019112729	1	08/19/2019	5,723.60	0.00	0.00	0.00	5,723.60
22207303	2019		2	10/07/2019	5,684.88	0.00	0.00	0.00	5,684.88
22207303	2019		3	01/06/2020	5,684.87	0.00	0.00	0.00	5,684.87
22207303	2019		4	03/02/2020	5,684.87	0.00	0.00	0.00	5,684.87
Current Year Totals					22,778.22	0.00	0.00	0.00	22,778.22

Prior Years								
PIN	Year	Bill Number	Charges	Interest	Pen/Fees	Paid	Balance	
Prior Years Total								

Development Application Submittal
for Administrative Permit

Proposed DeMartini Garage

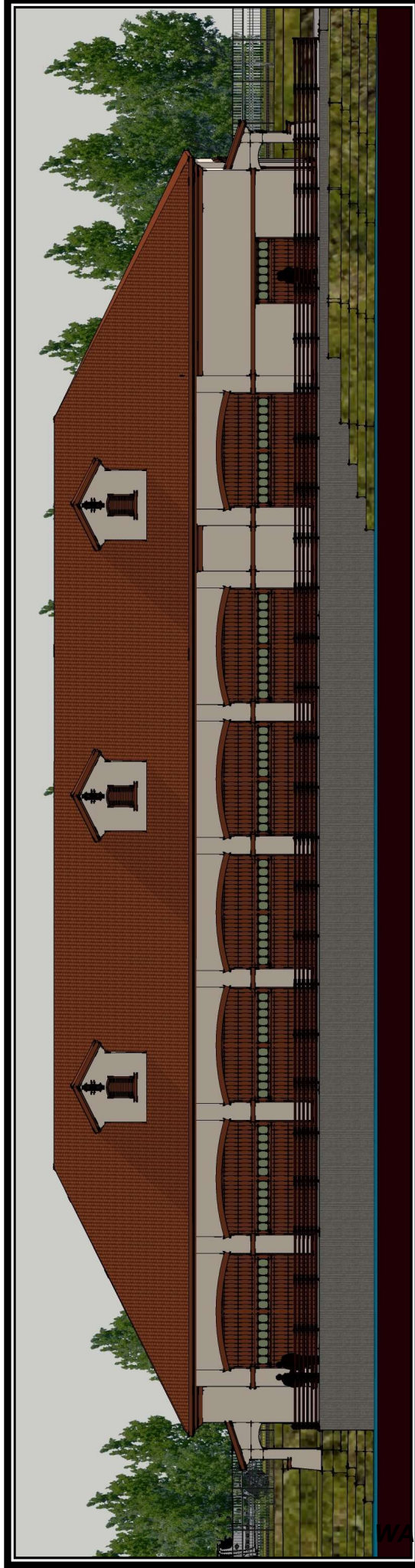
2400 Kinney Lane, Reno, Nevada

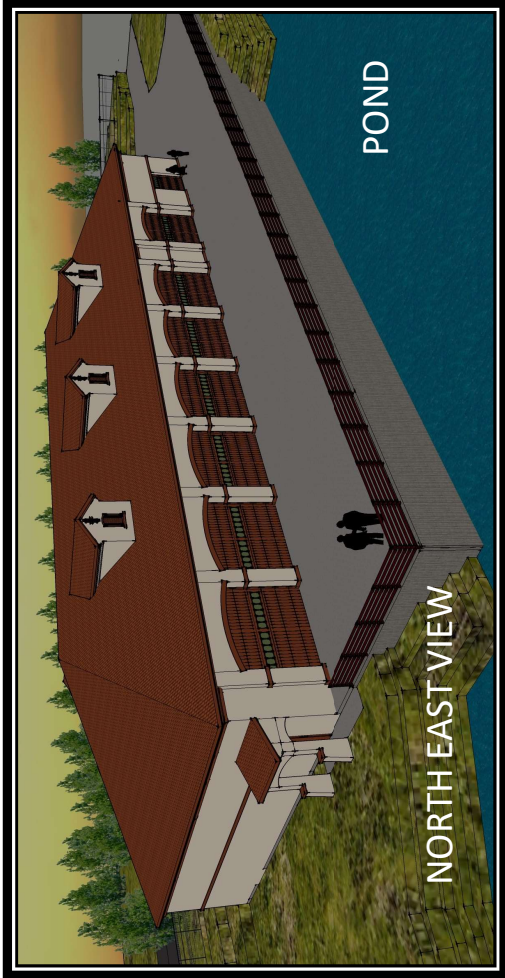
(A new Garage to house Antique Car Collection)

Submitted by

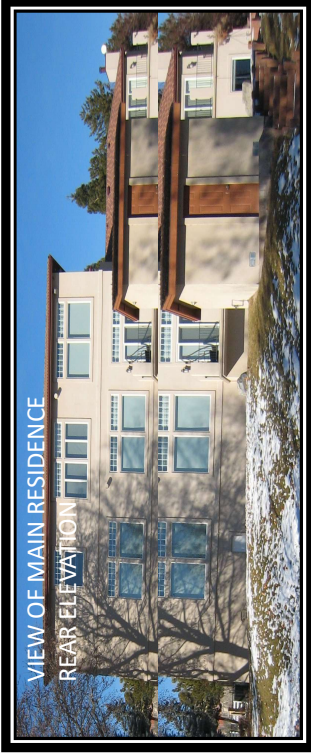
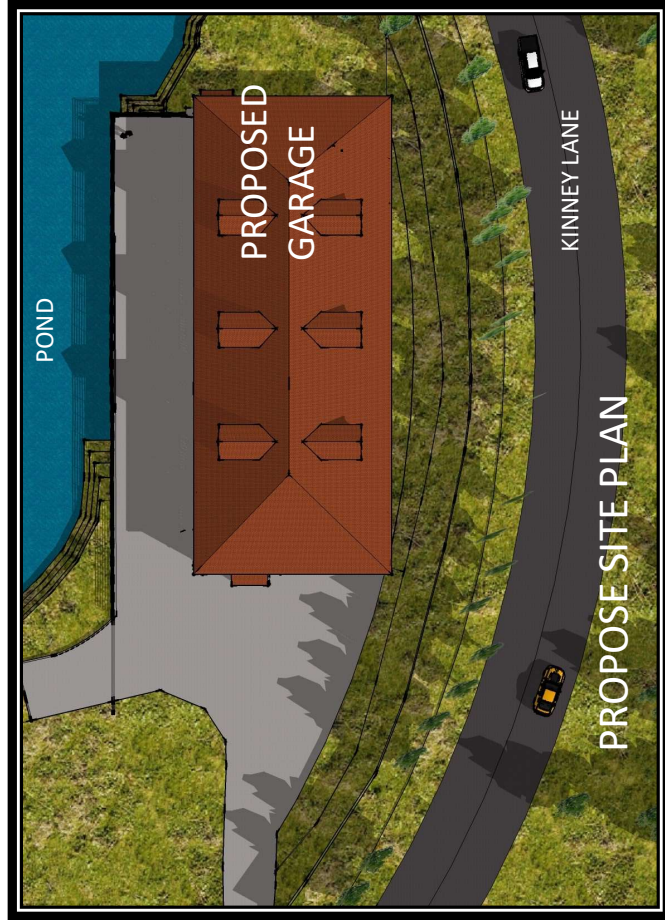
John Charles Matetich, AIA, NCARB
Architect

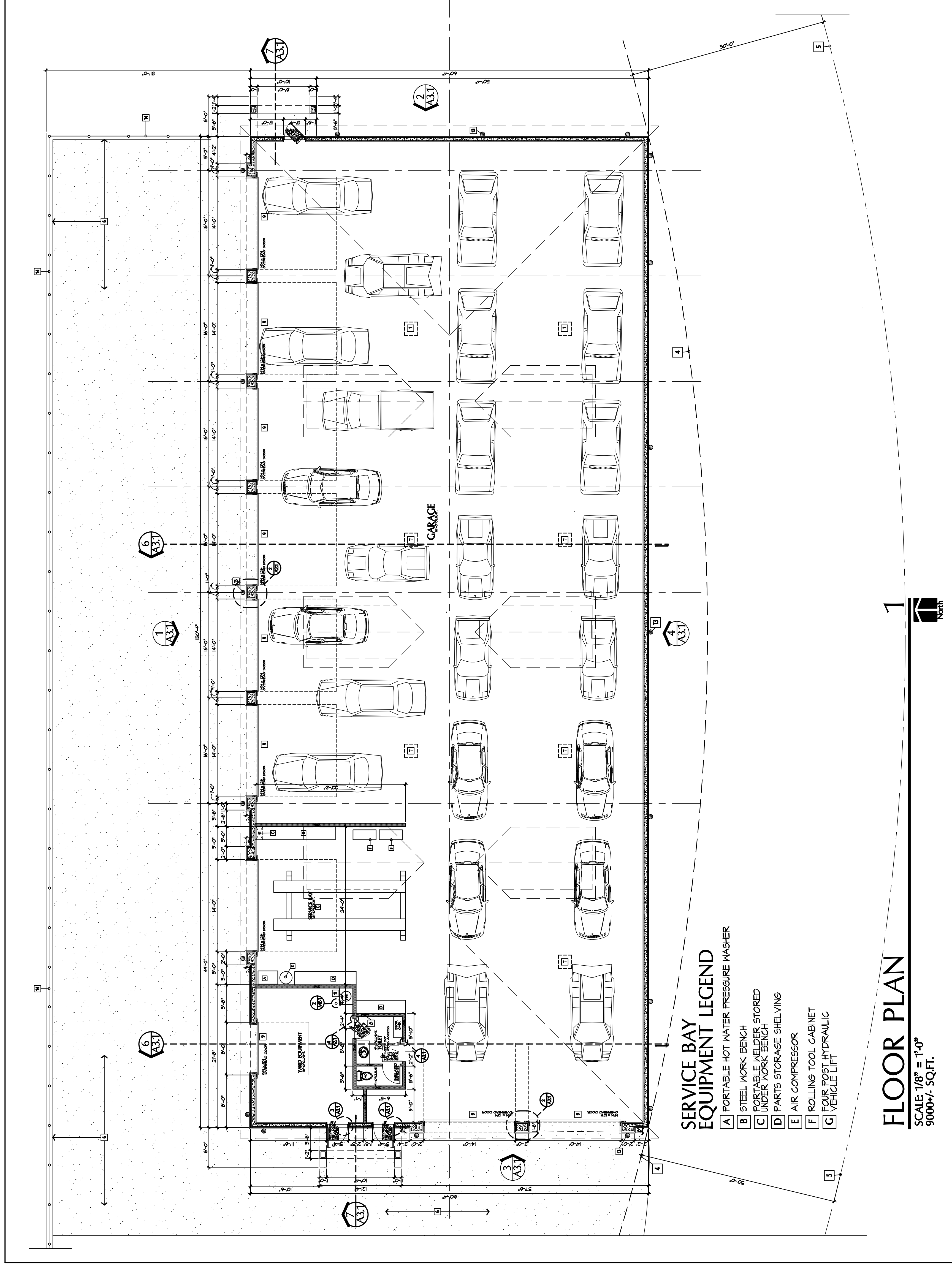
July 11, 2019





Proposed:
De Martini Garage
2400 Kinney Lane
Reno, Nevada





SERVICE BAY EQUIPMENT LEGEND

- A | PORTABLE HOT WATER PRESSURE WASHER
- B | STEEL WORK BENCH
- C | PORTABLE WELDER STORED UNDER WORK BENCH
- D | PARTS STORAGE SHELVING
- E | AIR COMPRESSOR
- F | ROLLING TOOL CABINET
- G | FOUR POST HYDRAULIC VEHICLE LIFT

FLOOR PLAN

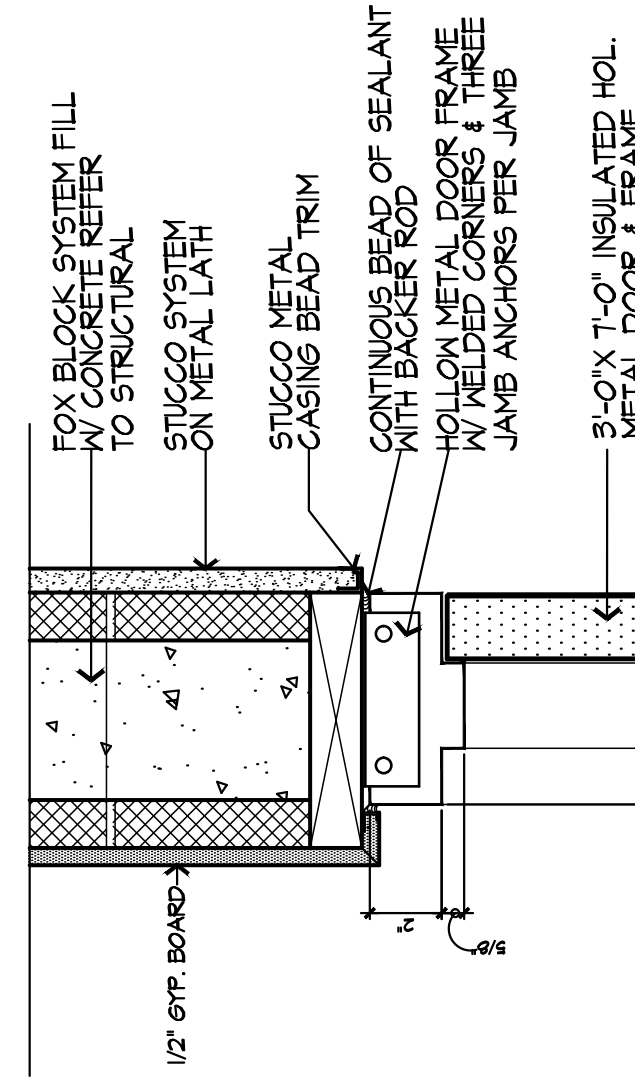
SCALE: 1/8" = 1'-0"
900047. SQ.FT.



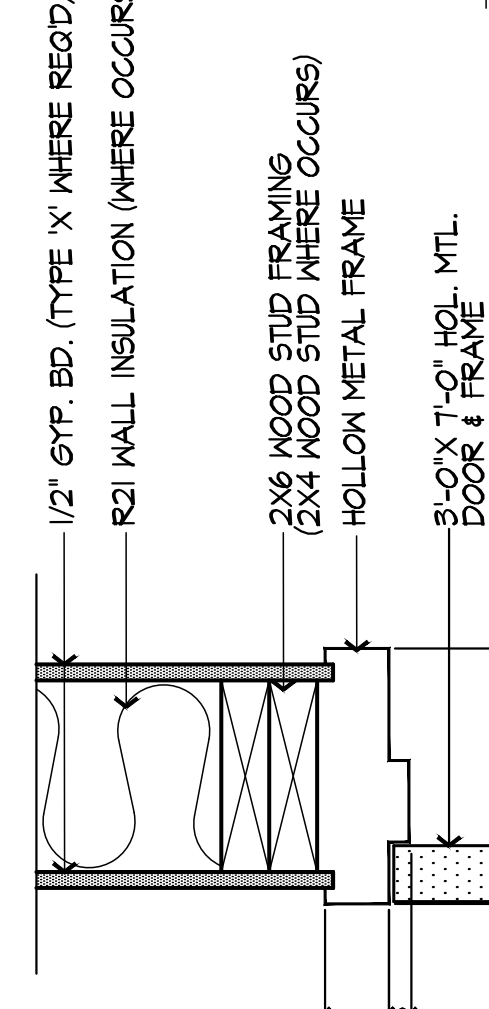
GENERAL PLAN NOTES:

- 1 | CONVENIENCE OUTLET MOUNTED 8'-0" OFF FLOOR IN GARAGE. REFER TO OWNER.
- 2 | MALL JOINTS: 2" S.S. STEEL & CONVENIENCE OUTLET.
- 3 | FROST PROOF HOSE BID. REFER TO ME-11
- 4 | 30'-0" BUILDING LINE SETBACK. REFER TO CIVIL.
- 5 | PROPERTY LINE. REFER TO CIVIL.
- 6 | NEW CONCRETE APRON & RETAINING WALL. REFER TO CIVIL.
- 7 | ATTACHED FLASHING DONE WITH FLEXIBLE JOINT.
- 8 | BROAN TO ELECTRIC MALL HEATER. RE: ME-11.
- 9 | SANYON RIDGE GUTTER: ULTRA-GRAIN SERIES BY GLOBAY. CONSTRUCTION OVERVIEW: 4-LAYER STEEL GARAGE HOUSE GARAGE DOORS WITH A FAUX-WOOD FINISH 2" INTELLIGORE POLYURETHANE INSULATION WITH A THERMAL BREAK. THIS GARAGE DOOR HAS AN INTEGRATED LED LIGHTING FEATURE. SANYON RIDGE HAS AN INTEGRATED LED LIGHTING FEATURE. MINICODE REINFORCEMENT PRODUCT AVAILABLE FOR HIGH WIND LOAD APPLICATIONS. LEARN MORE ABOUT CANTON RIDGE COLLECTION ULTRA-GRAIN SERIES CONSTRUCTION. REFER TO CIVIL.

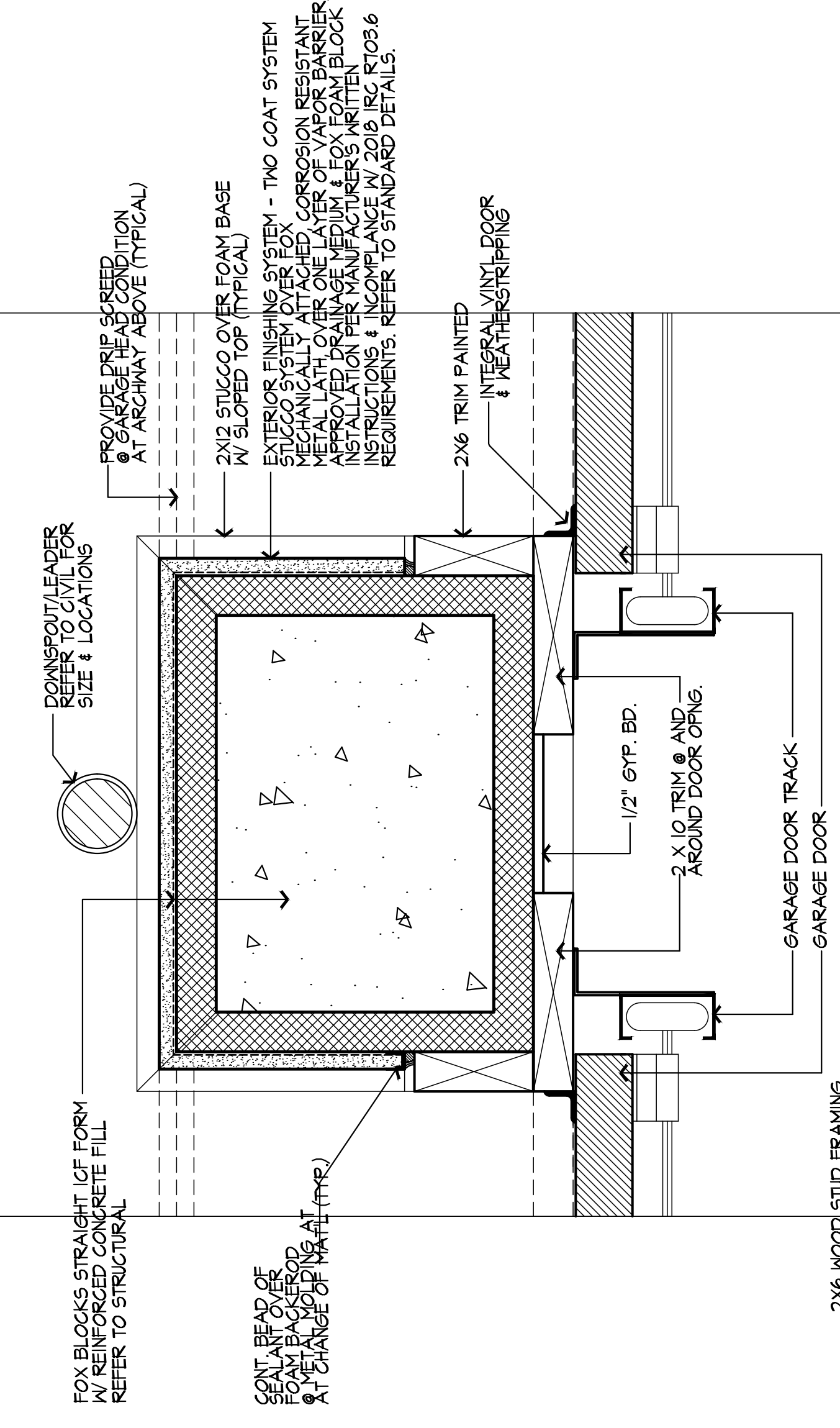
- 10 | MALL AREAS ABOVE HAVING INSTALLED COVER HEADS AND IN SHOWER COMPARTMENTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE 2018 IBC OR MATERIALS TO A HEIGHT OF NOT LESS THAN FINISHED FLOOR. IF CERAMIC TILES SELECTED, INSTALL PER IRC SECTION T02.4.
- 11 | PROVIDE 18" MIN HEIGHT PLATFORM FOR HVAC UNIT, HOT WATER TANK & CIRCULATION PUMP & PLUMBING EQUIPMENT'S IN GARAGE.
- 12 | WHERE A GAS-FIRED FORCED-AIR FURNACE OR WATER HEATER IS TO BE INSTALLED IN GARAGE, PROVIDE EXHAUSTION & VENT HOOD DILUTION AIR IN ACCORDANCE WITH THE 2018 IBC OR AS NOTED ON PLANS PER IRC 202.4(1) (2018 IBC). REFER TO NOTE # 27 DWG ME-11.
- 13 | PROVIDE THE CONNECTIONS OF ALUMINUM SATTER & TYPICAL CONNECTIONS OF ALUMINUM SATTER OF STORY DRAINAGE LEADERS.
- 14 | REFER TO CIVIL.



Typ. Jamb @ Exterior Wall 3



Typ. Jamb @ Interior Wall 4



Typ. Jamb @ Garage Door

No Scale

Archidea
ARCHITECTS

jcm
ARCHITECTS

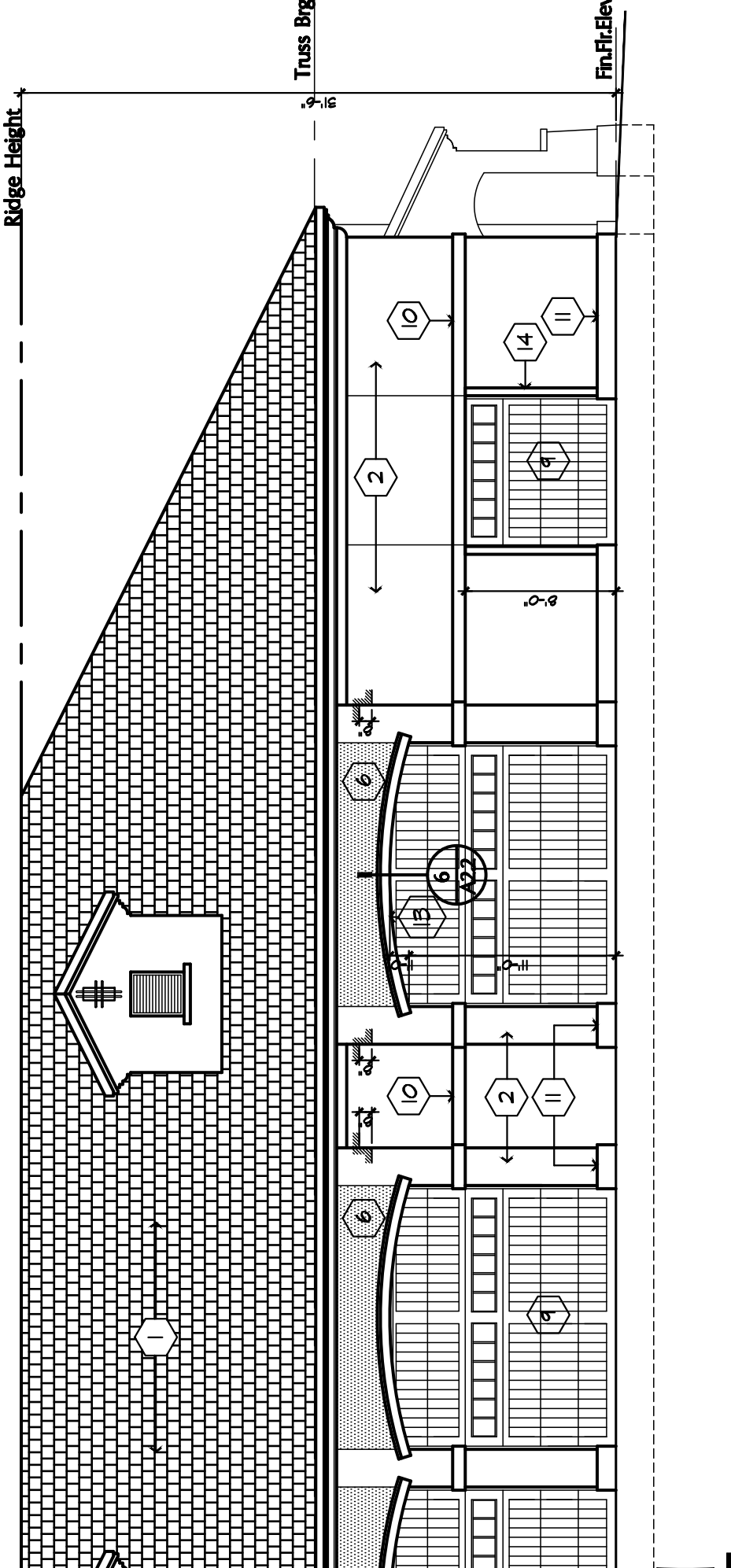
DeMartini Garage

2400 Kenney Lane, Reno, Nevada

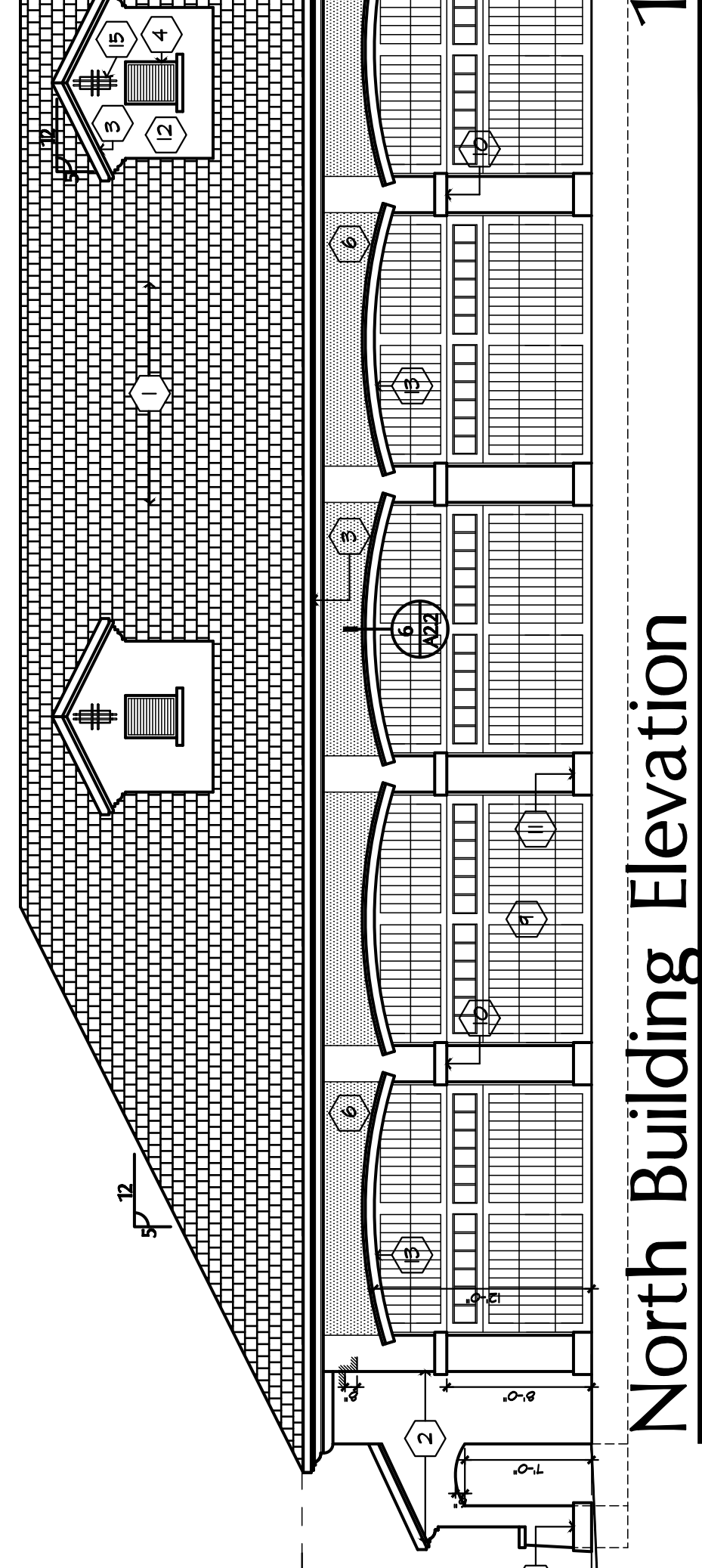
DATE: JUL 3, 2019	SCALE: AS NOTED
DESIGNED BY: JCM	DRAWN BY: JCM
APPROVED BY: JCM	PROJECT NUMBER: KIC201901
<p>FLOOR PLAN</p> <p>SHEET NUMBER: A2.1</p> <p>REVISION: 0</p>	

EXTERIOR FINISHES

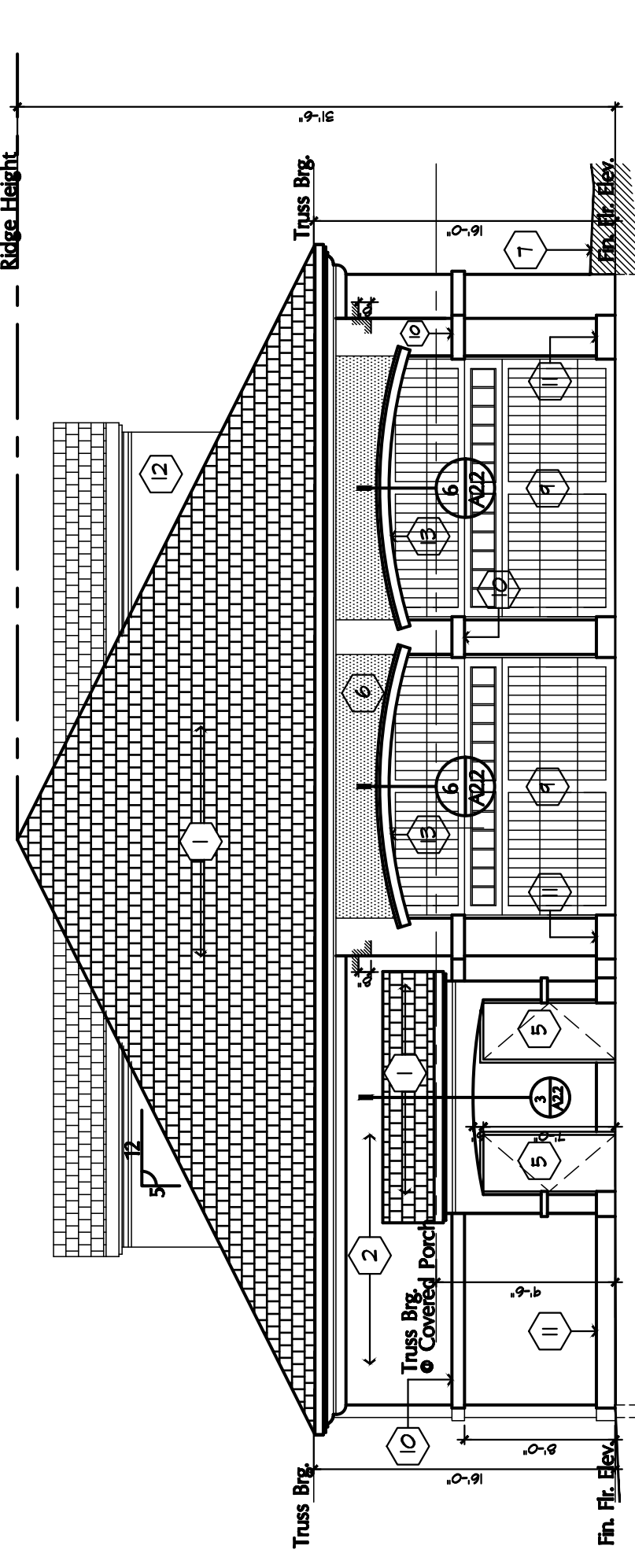
- 1 BAR TILE - LEGENDARY COTTAGE SLATE CONCRETE TILE ROOFING OVER ROOFERS SELECT ASTM D6151 ROOFING FELT LAYED PERPENDICULAR TO ROOF SLOPE. REFER TO ARCHITECTURAL SECTION FOR ICE DAMMING TIE OR OVER LEAVE COMPANY PRODUCT ICE & WATER SHIELD UNDERLAYMENT @ ROOF EDGES, VALLEY, RIDGE & GUTTERS. REFER TO ARCHITECTURAL SECTION FOR GUTTERS. REFER TO ARCHITECTURAL SECTION FOR GUTTERS.
- 2 EXTERIOR FINISHING SYSTEM - TWO COAT SYSTEM BLOCK SYSTEM OVER FOX BLOCK (NAILATED FOAM MECHANICALLY AIR AGED GORGLON BEARING APPROVED DRAINAGE MEDIA INSTALLED PER INSTALLATION PER MANUFACTURER'S WRITTEN REQUIREMENTS. REFER TO SPEC 2016, PG. S16.6
- 3 2X6 ON 2X8 FASCIA OVER 1/2" METAL GUTTERS
- 4 ALUMINUM SCREENED VENT HAVING 25 SF FREE VENT AREA AT 2X6 STUCCO OVER FOAM BOLL
- 5 2X8 OVER FRAMING BETWEEN CONCRETE PILASTER AT GARAGE DOORS. REFER TO 6-A2.2
- 6 FINISH GRADE - SLOPE AWAY FROM FOUNDATION A MINIMUM OF 5% . REFER TO CIVIL PLANS.
- 7 NOT USED
- 8 CUSTOM METAL GARAGE DOORS - EXT. STAINED FINISH REFER TO JAMB DETAIL 6-A2.1
- 9 CONSTRUCTION OVER 2X8 OVER 1/2" WATER STEEL CARRIAGE-HOUSE POLYURETHANE INSULATION WITH A THERMAL BREAK. THIS GARAGE DOOR HAS 16" THERMAL BREAKS. REFER TO ARCHITECTURAL SECTION FOR GARAGE DOORS. REFER TO ARCHITECTURAL SECTION FOR GARAGE DOORS.
- 10 2X8 STUCCO OVER 2X8 ON 2X8 FASCIA OVER 1/2" METAL GUTTERS
- 11 2X8 STUCCO OVER 2X8 ON 2X8 FASCIA OVER 1/2" METAL GUTTERS
- 12 2X8 STUCCO OVER 2X8 ON 2X8 FASCIA OVER 1/2" METAL GUTTERS
- 13 2X8 STUCCO OVER 2X8 ON 2X8 FASCIA OVER 1/2" METAL GUTTERS
- 14 2X6 STUCCO OVER FOAM TRIM.
- 15 DORMER ELEMENT REFER TO DETAIL 10-A2.2



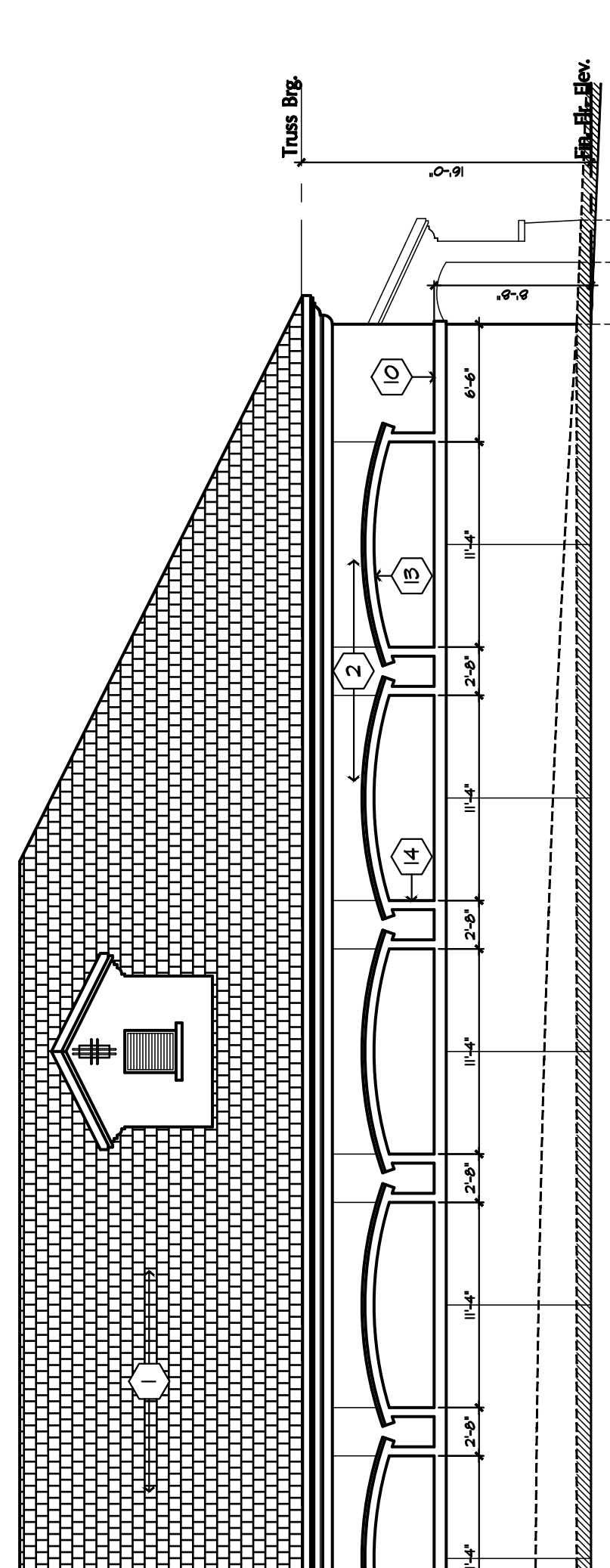
North Building Elevation
SCALE 1/8" = 1'-0"



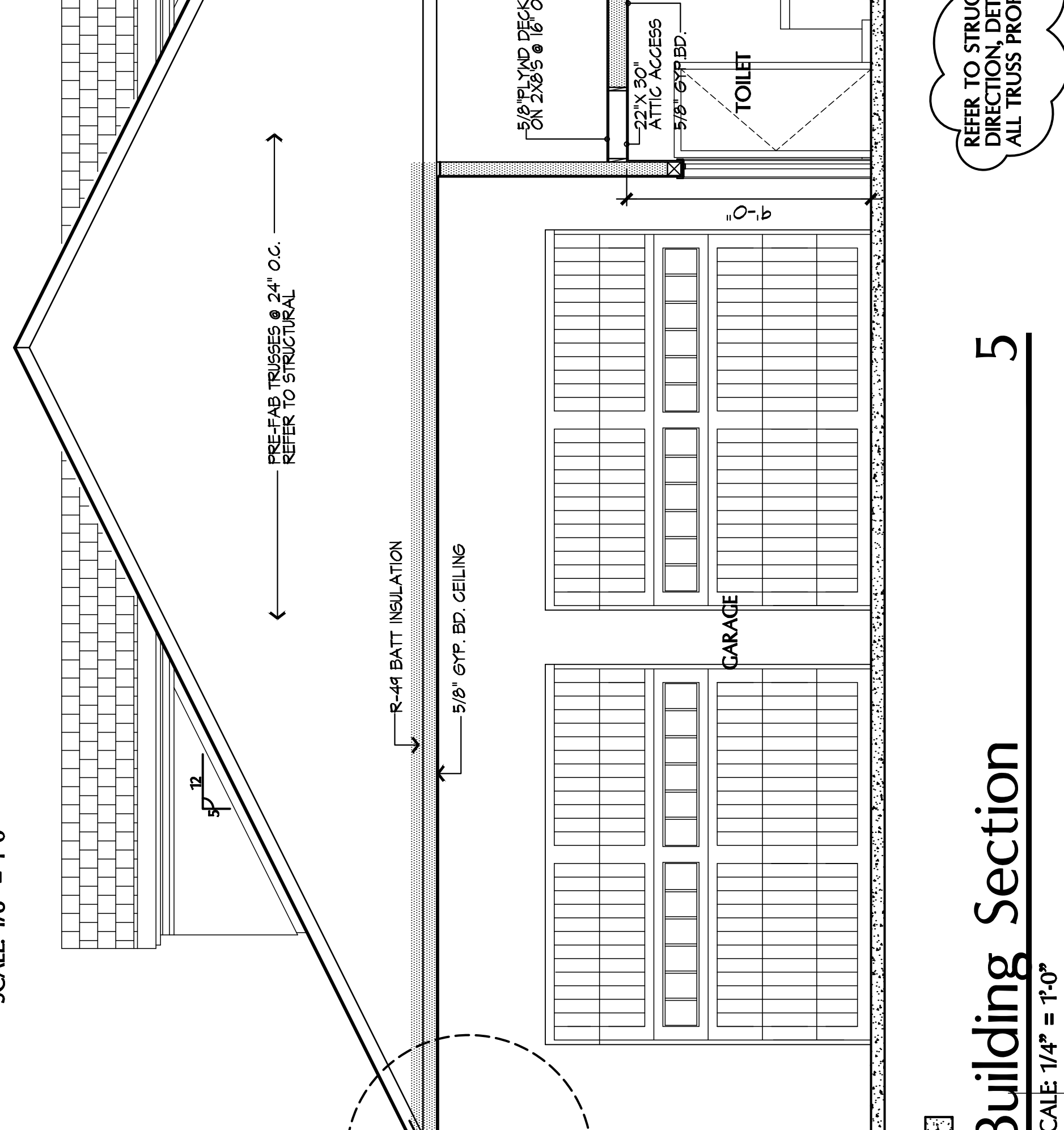
East Building Elevation
SCALE 1/8" = 1'-0"



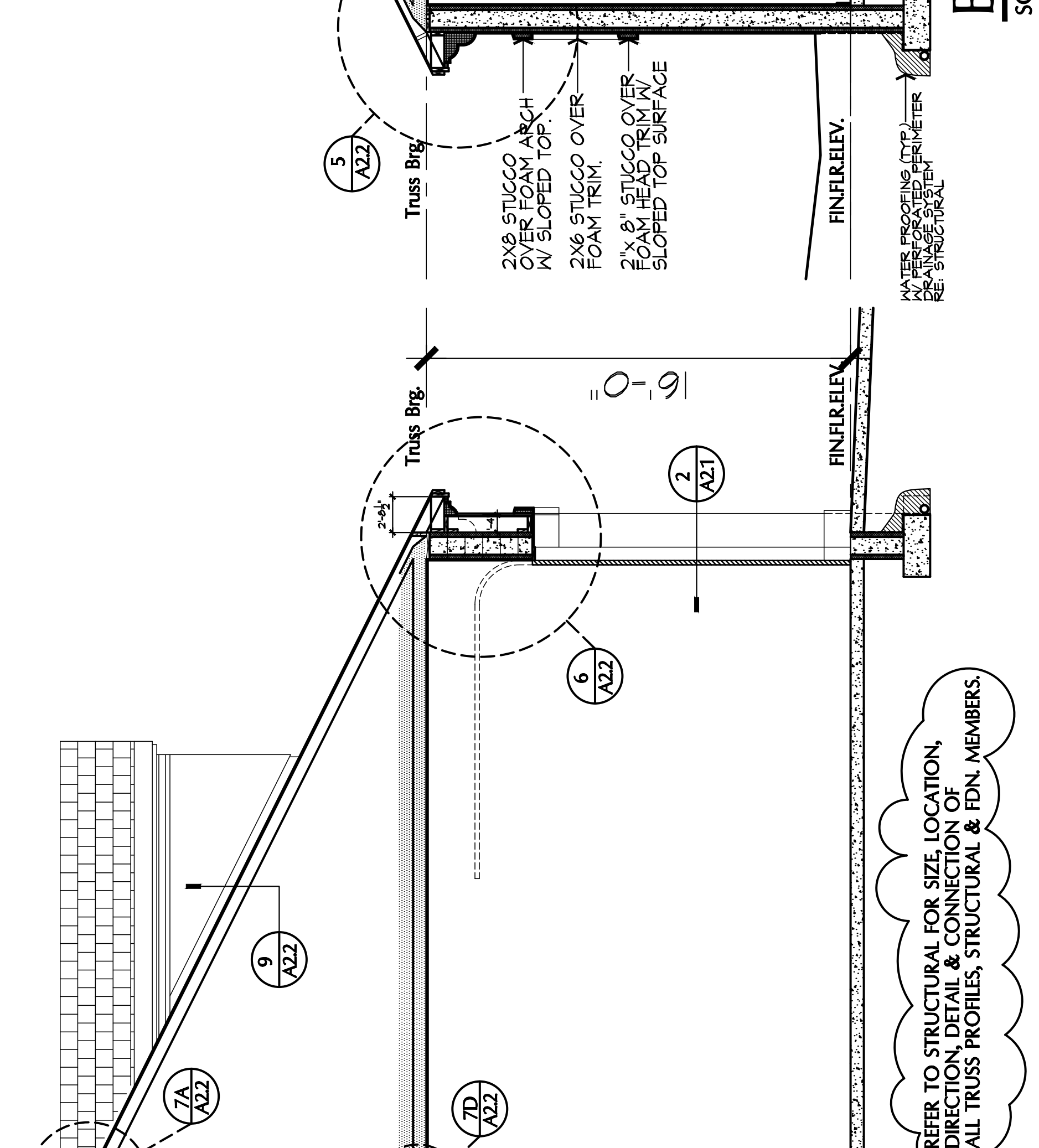
West Building Elevation
SCALE 1/8" = 1'-0"



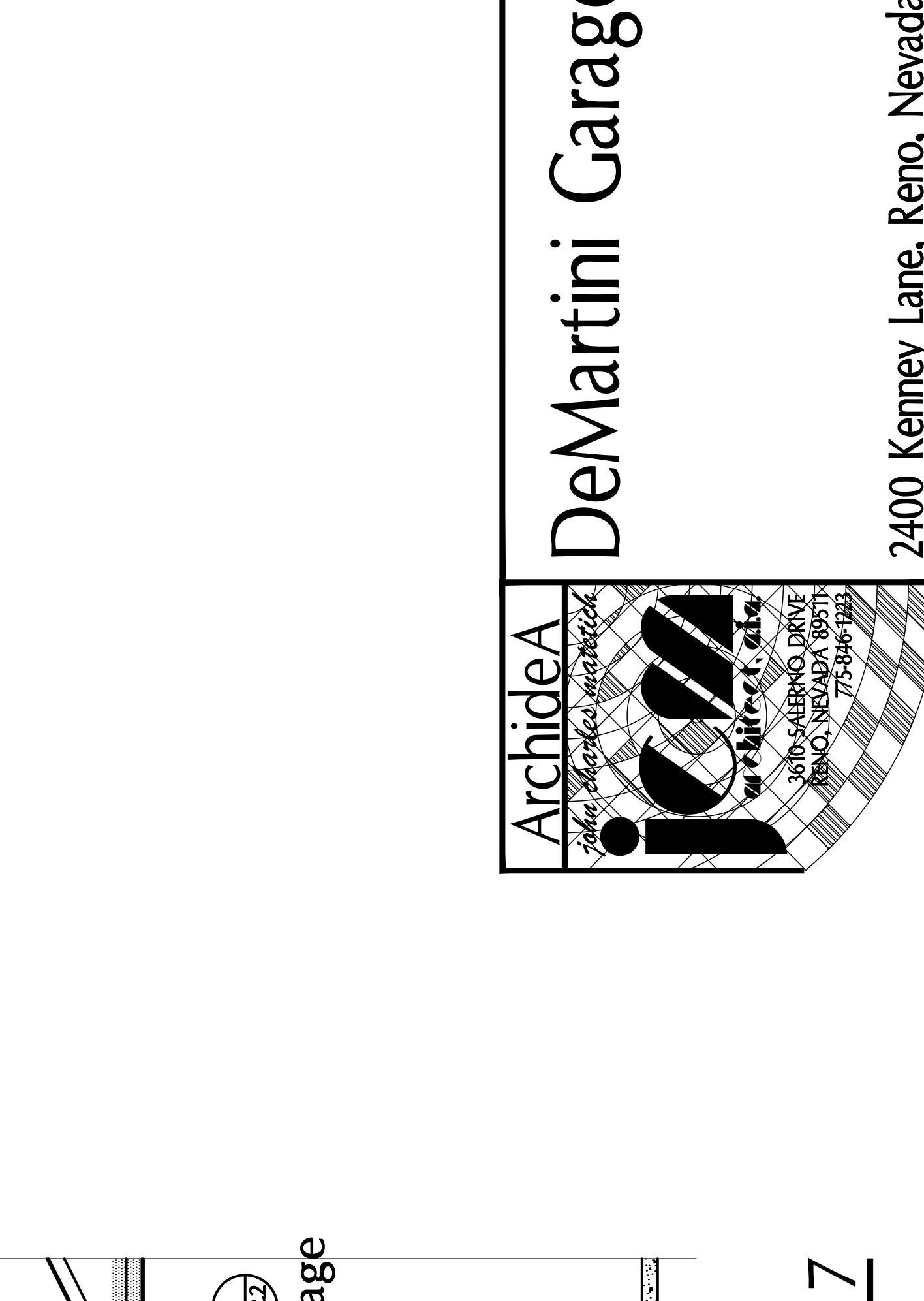
South Building Elevation
SCALE 1/8" = 1'-0"



Building Section 5
SCALE 1/4" = 1'-0"



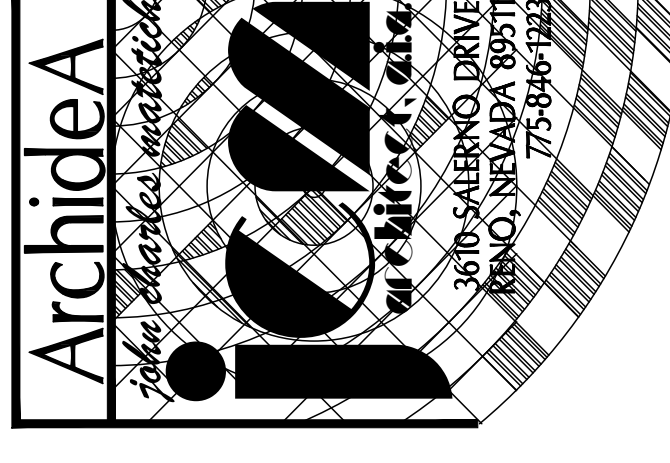
Building Section 6
SCALE 1/4" = 1'-0"



Building Section 7 @ Covered Porch
SCALE 1/4" = 1'-0"

REFER TO STRUCTURAL FOR SIZE, LOCATION, DIRECTION, DETAIL & CONNECTION OF ALL TRUSS PROFILES, STRUCTURAL & FDN. MEMBERS.

REFER TO STRUCTURAL FOR SIZE, LOCATION, DIRECTION, DETAIL & CONNECTION OF ALL TRUSS PROFILES, STRUCTURAL & FDN. MEMBERS.



DeMartini Garage

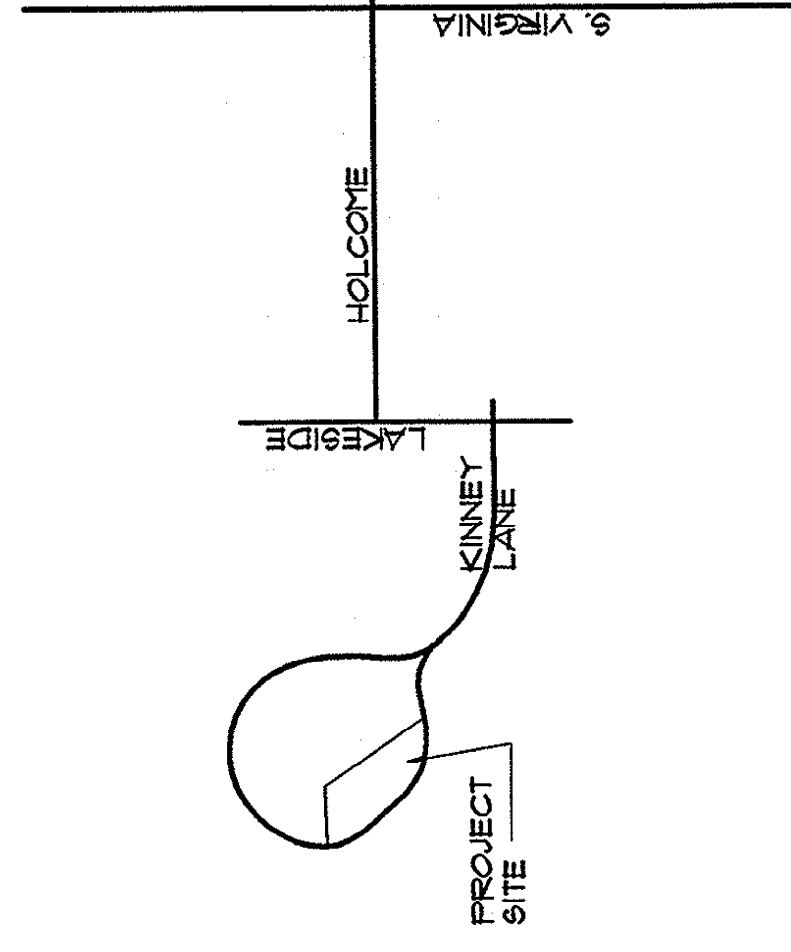
2400 Kenney Lane, Reno, Nevada

DATE	JULY 3, 2019
SCALE	AS NOTED
DESIGNED BY:	JOM
DRAWN BY:	JOM
APPROVED BY:	JOM
PROJECT NUMBER:	KLC201901
BUILDING ELEVATIONS	
SHEET NUMBER:	A3.1
REVISION	0

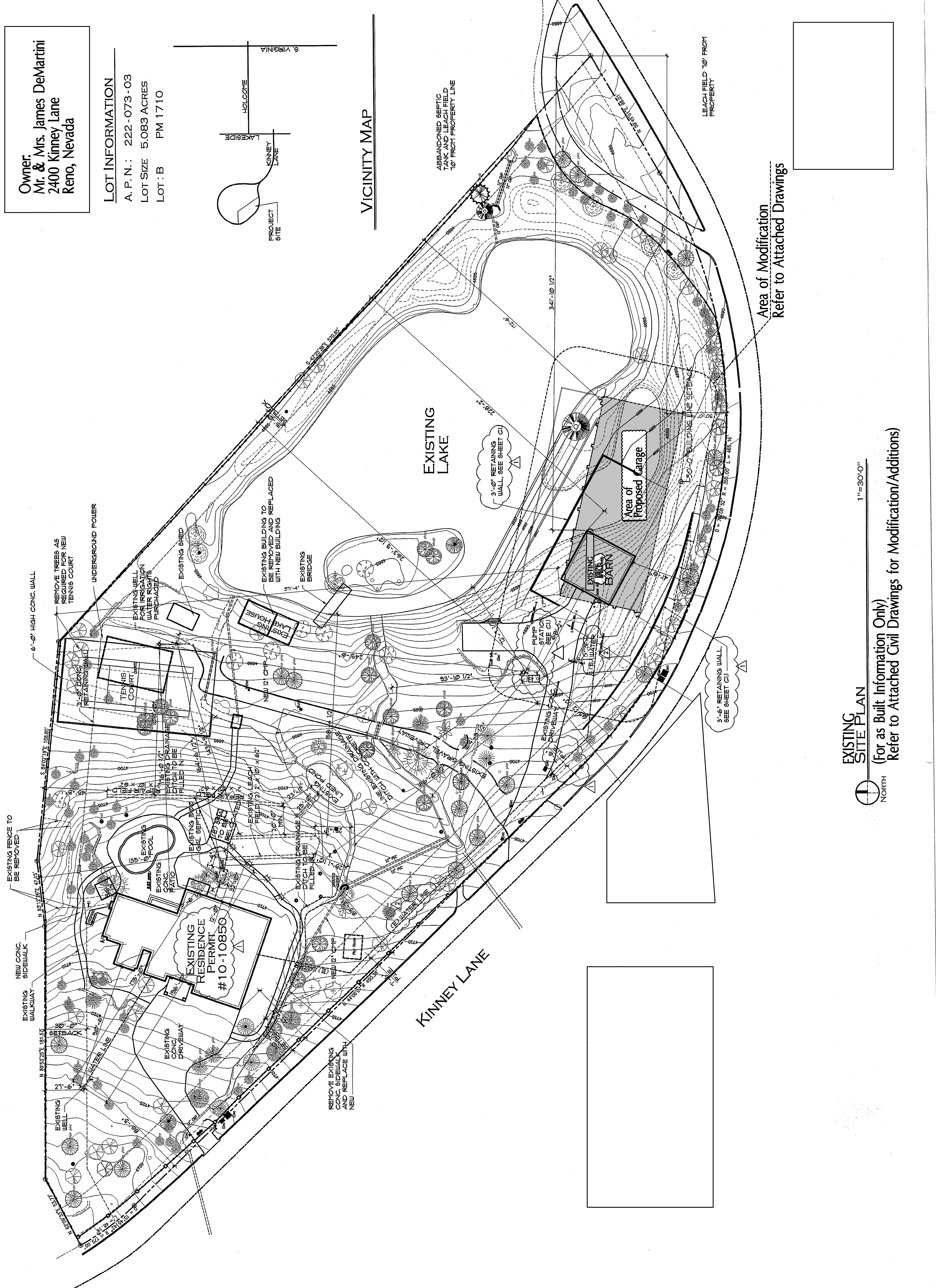
Owner:
Mr. & Mrs. James DeMartini
2400 Kinney Lane
Reno, Nevada

LOT INFORMATION

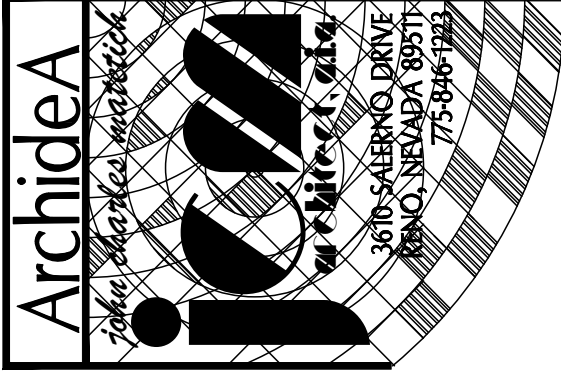
A.P.N.: 222-073-03
LOT SIZE 5.083 ACRES
LOT: B PM 1710



VICINITY MAP



EXISTING SITE PLAN
(For as Built Information Only)
Refer to Attached Civil Drawings for Modification/Additions



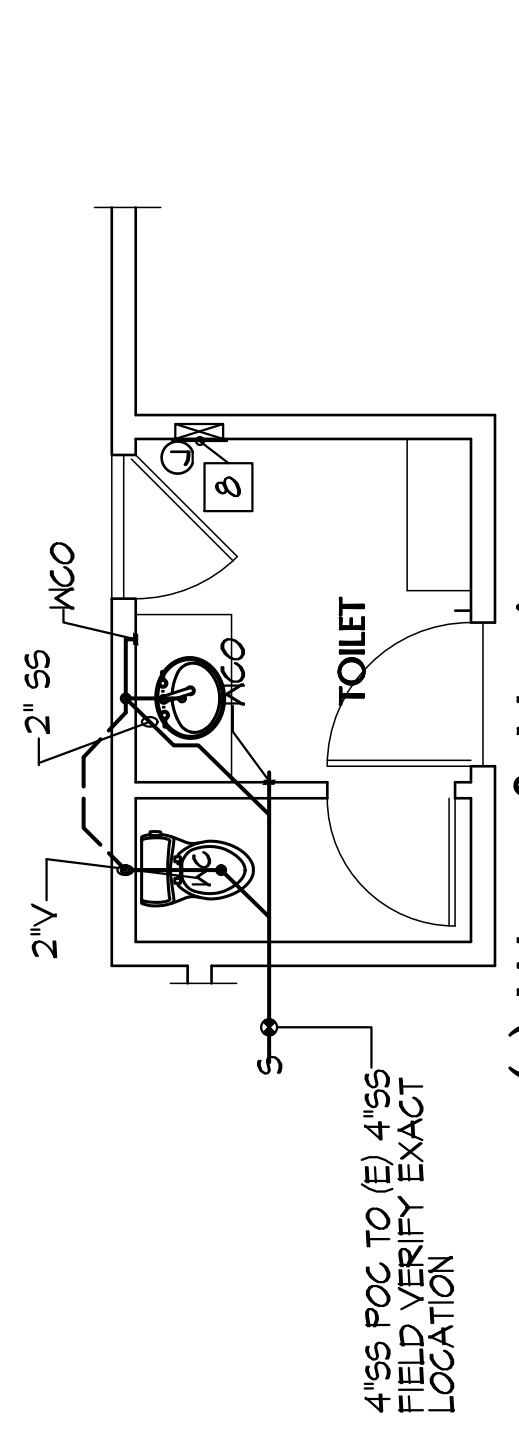
DeMartini Garage

2400 Kinney Lane, Reno, Nevada

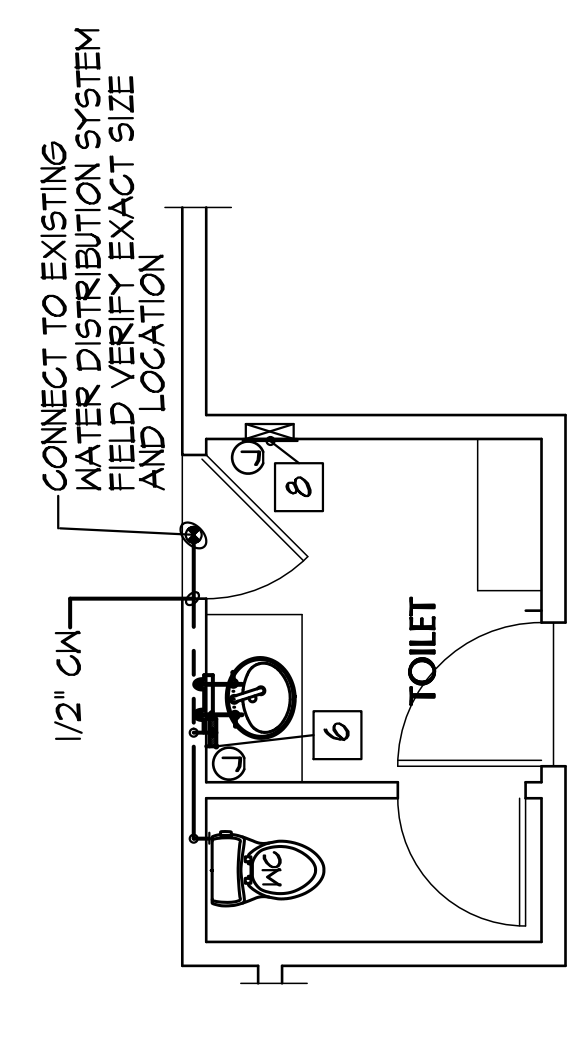
DATE	DATE	BY	BY
2013.09.24	2013.09.24	JCH	JCH
REVISION	REVISION	PROJECT NUMBER	PROJECT NUMBER
EXISTING SITE PLAN	EXISTING SITE PLAN	102000014	102000014
SHEET NUMBER	SHEET NUMBER		
A1.1	A1.1		
0	0		

Electrical Symbols

- RECESSED LIGHT
- ⊕ WATER PROOF RECESSED EXTERIOR LIGHT
- ⊕ WALL FIXTURE
- ⊕ X 4 FLUORESCENT FIXTURE
- ⊕ INCANDESCENT LIGHT (CEILING MOUNTED)
- ⊕ TELEPHONE (CAT-5)
- ⊕ CABLE TELEVISION (CEILING MOUNTED)
- ⊕ EXHAUST FAN PER 2012 IRC M102
- ⊕ SMOKE/CARBON MONOXIDE DETECTOR COMBINATION UNIT
- ⊕ DOOR CHIMES/INTERCOM SYSTEM
- ⊕ THERMOSTAT
- ⊕ GFI/⊕ DUPLEX OUTLET W/ GROUND PROTECTION PER E3102
- ⊕ WP/GFI/⊕ DUPLEX OUTLET W/ GROUND PROTECTION PER E3102
- ⊕ WATER SUPPLY
- ⊕ W VALVE
- ⊕ ELECTRIC WALL HEATER
- ⊕ BROWN TO



(a) Waste & Venting Piping Plan



(b) Piping Plan Partial Toilet Plumbing Plans

NOT TO SCALE 3

The Reznor UDAP-45 with

THREE HORIZONTAL DOWNERS.
GENERAL SPECIFICATIONS INFORMATION
PRODUCT LINE UDAP
FUEL TYPE: NATURAL GAS
VENT TYPE: POWER VENT
CONFIGURATION: HORIZONTAL
HEATING CAPACITY: 37000 BTU
MAXIMUM INPUT CAPACITY: 45000 BTU
EFFICIENCY: 83 %
MINIMUM AIR FLOW: 629 CFM
MAXIMUM AIR FLOW: 629 CFM
PRODUCT WEIGHT: 66 POUNDS

REZNR UDAP-45 GAS FIRED UNIT HEATER IS A 115 VOLT, GAS FIRED UNIT HEATER DESIGNED TO PROVIDE EFFICIENT HEATING. REZNR UDAP-45 USES A SINGLE BURNER COMBUSTION SYSTEM TO PROVIDE A 37000 BTU/HR. OUTPUT WITH AN 82-88% THERMAL EFFICIENCY. UDAP-45 PROVIDES A 50-60°F. RISE RANGE. INDICATOR LIGHTS AND INTERMITTENT DIAGNOSTIC INDICATOR LIGHTS TO CONTROL HEATER OPERATION. EXTERNAL GAS CONNECTION ALLOWS FOR EASY GAS SERVICE CONNECTION. REZNR UDAP-45 CAN BE SUSPENDED FROM EITHER 2 OR 4 SUSPENSION POINTS OR CEILING MOUNTED WITH AN OPTIONAL HANGER KIT.

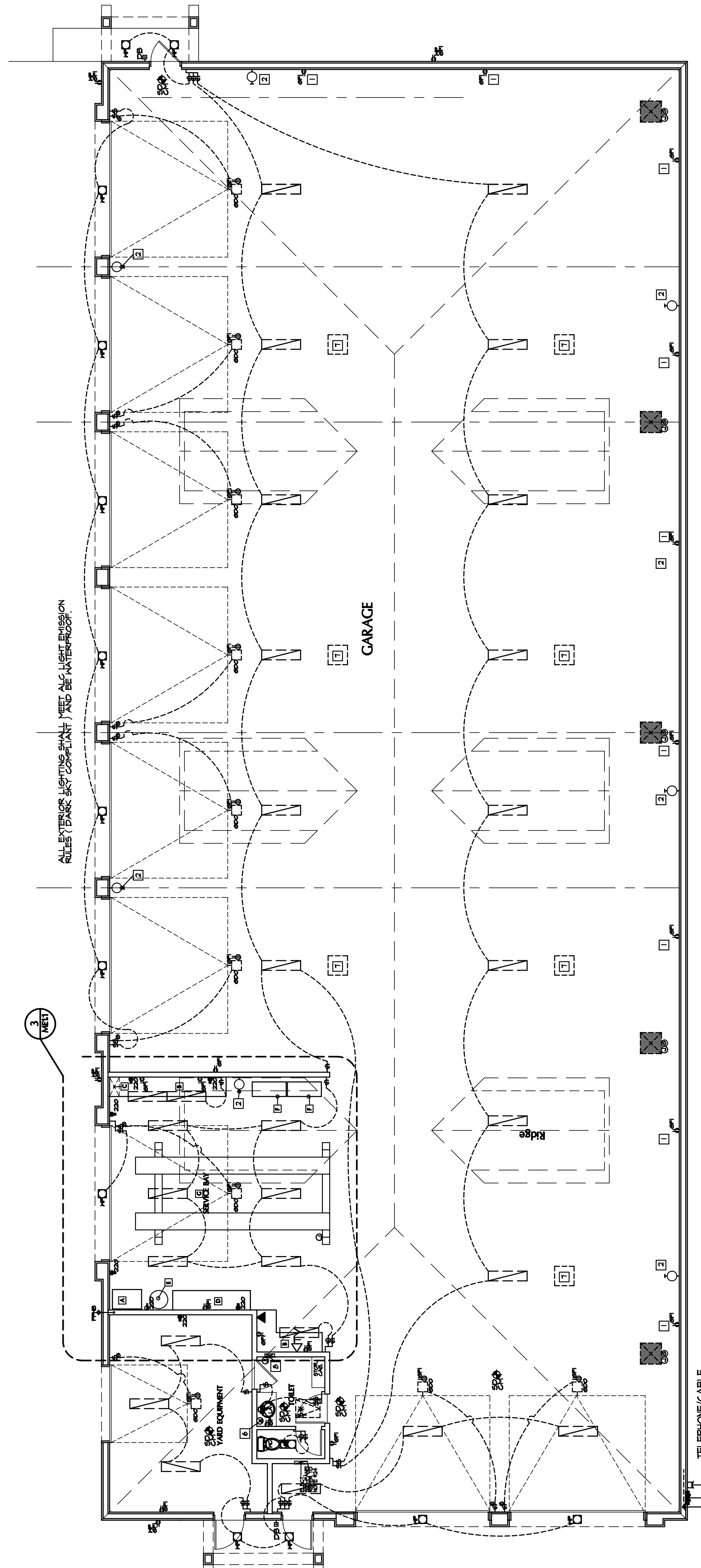
REZNR UDAP-45 FEATURES
RESIDENTIAL AND COMMERCIAL/INDUSTRIAL CERTIFICATION
MULTI-TRY DIRECT SPARK IGNITION WITH 100% LOCKOUT
VIBRATION ISOLATED FAN AND VENTER MOTORS
2-FT AND 4-FT SUSPENSION POINTS
EXTERNAL GAS CONNECTION
ELECTRICAL DATA VOLTAGE 115 VOLTS
PHASE 1
FREQUENCY 60 HZ
DIMENSIONS:
FLUE CONNECTION SIZE: 4 INCHES
PRIMARY VENT PIPE DIAMETER: 4 INCHES
GAS CONNECTION SIZE: 1/2 INCH
GAS PIPING DIAMETER: 1/2 INCH
PRODUCT HEIGHT: 12 1/2 INCHES
PRODUCT WIDTH: 26 5/8 INCHES
PRODUCT DEPTH: 26 INCHES

Brain 170
Wattage: 1000
Area heated: 150-250 SF.
Amps: 8.3
Voltage: 120
Heat output: 3413 BTUs at 120 VAC, 750 watts at 208 VAC or 1,000 watts at 240 VAC
Thermostat: yes



Wall Mtd Air Reel 2

NOT TO SCALE
WALL MOUNTED AIR REEL W/ CONVENIENCE OUTLET CONNECTED TO SERVICE BAY AIR COMPRESSOR



ELECTRICAL PLAN
SCALE: 1/8" = 1'-0"
9000-sq. FT.

SERVICE BAY EQUIPMENT LEGEND

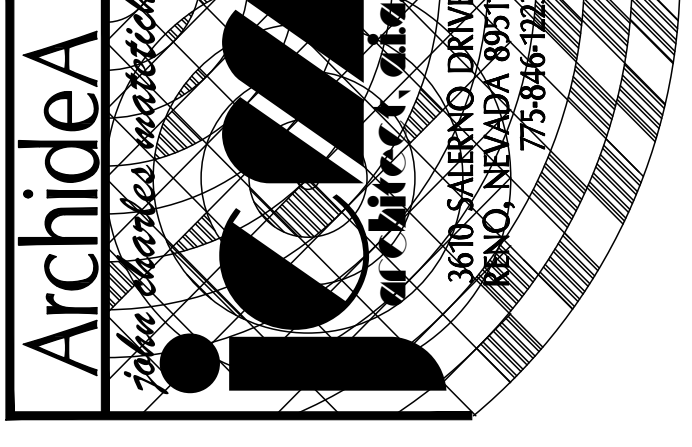
A	FRESH AIR W/ WATER
B	STEEL WORK BENCH
C	PORTABLE WELDER STORED UNDER WORK BENCH
D	PARTS STORAGE SHELVING
E	AIR COMPRESSOR
F	ROLLING TOOL CABINET
G	FOUR POST HYDRAULIC VEHICLE LIFT

GENERAL PLAN NOTES:

- FOR NEON SIGNAGE @ 30'-0" AFF. VERIFY W/ OWNER REFER TO THE SIGNETEL & CONVENIENCE OUTLET.
- REFER TO THE SIGNETEL & CONVENIENCE OUTLET.
- FROST PROOF HOSE BID.
- 30'-0" BUILDING LINE SETBACK. REFER TO CIVIL.
- PROPERTY LINE. REFER TO CIVIL.
- W/ERHOT ELECTRIC (OKA)
- TANKLESS HOT WATER HEATER REL. 3B-WEL1
- W/ERHOT ELECTRIC (OKA) POST LIGHTING DOUBLE TUBULE TUNNEL.
- BROWN TO ELECTRIC WALL HEATER
- REFER TO DETAIL 2-ME1-FOR HWT PROTECTION.

Mechanical/Plumbing/Electrical Notes

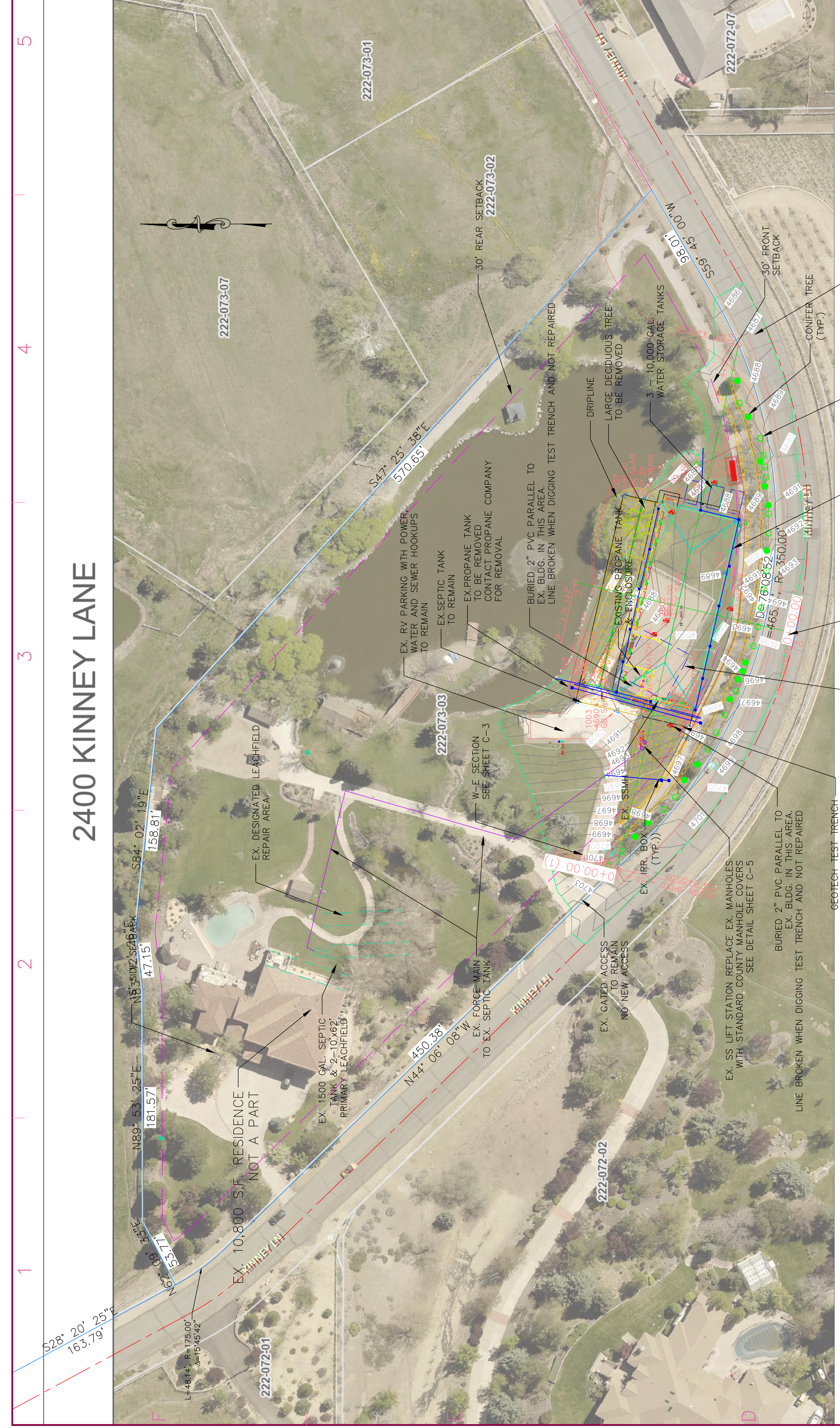
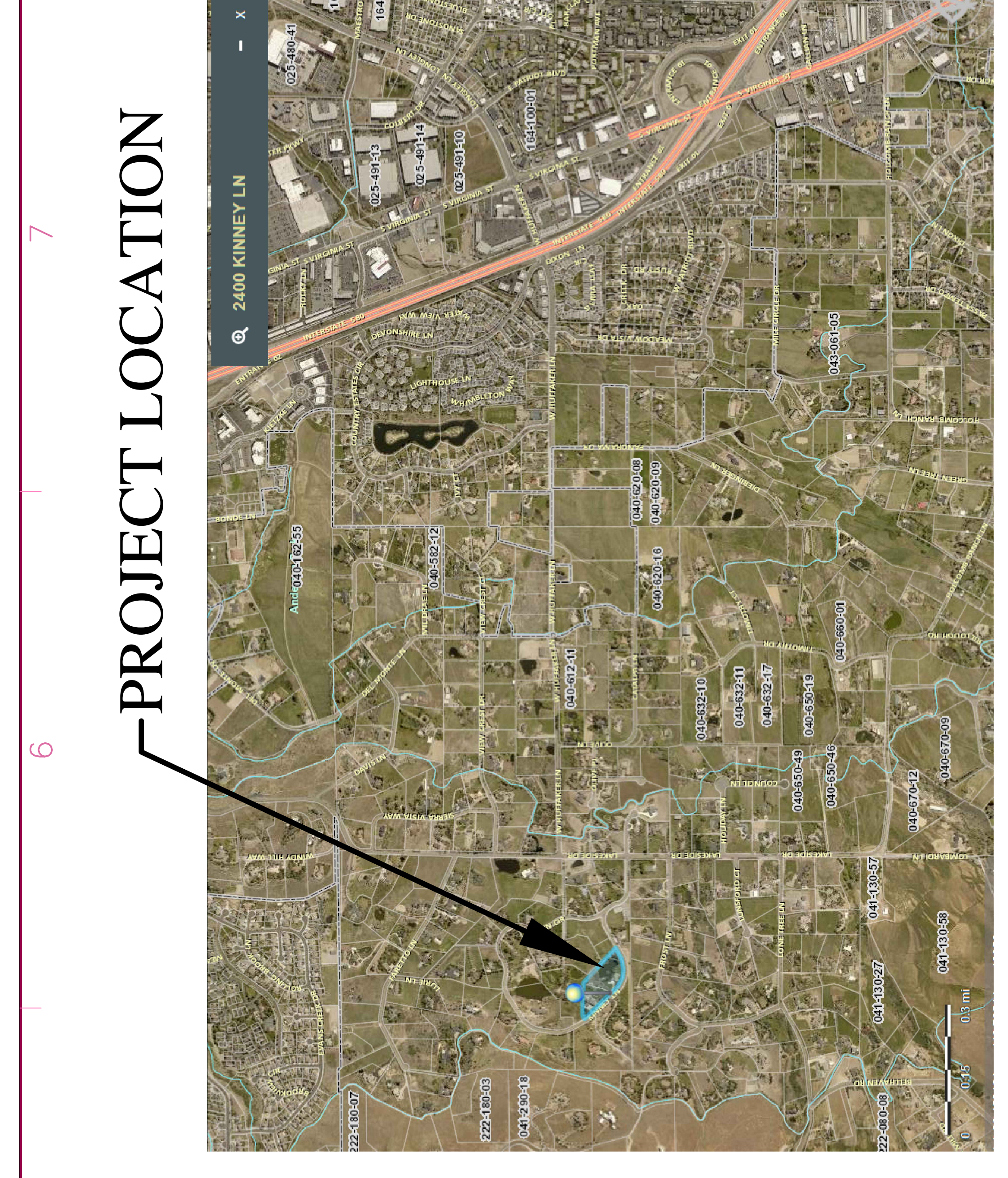
- PROVIDE SMOKE ALARMS WITH PRIMARY POWER FROM BLDG. PROVIDE SECONDARY POWER FROM BATTERY BACKUP. (2012 IRC R3103)
- CEILING LIGHTING SHALL MEET ALL LIGHT EMISSION RULES (DARK SKY COMPLIANT) & SHALL BE WATERPROOF. MECHANICAL VENTILATION SYSTEMS IN BATHUB OR SHOWER AREAS SHALL BE CONNECTED DIRECTLY TO THE OUTSIDE. (2018 IRC R3003)
- AS REQUIRED PER 2018 IRC CHAPTER 24: ALL HOSEBIBS - NOT USED
- NOT USED
- NOT USED
- NOT USED
- WATERS CLOSETS SHALL BE 16 GALLON MAXIMUM (2012 IRC P2403.2)
- PROVIDE A MIN #4 COPPER GROUNDING ELECTRODE ENCASED IN THE FOOTING - (2012 IRC E3603.1.2)
- PROVIDE SEISMIC STRAPS FOR THE WATER HEATER - PER 2012 IRC P2601.7 REFER TO DTL. 2-A5.1
- PROVIDE W/ER HOT WATER HEATER (SERVICE GROUND) AT MAIN ELECTRICAL SERVICE PANEL WITH THE FOLLOWING AT THE BASE: BOND WATER PIPES AND ABOVE GROUND METAL GAS PIPING TO THE SERVICE GROUND.
- NOT USED
- ALL ROOMS THAT ARE NOT GFI SHALL HAVE AFCI PROTECTION PER 2018 IRC & 2011 NEC ELECTRICAL REQUIREMENTS. ALL BRANCH CIRCUITS THAT 120-VOLT SINGLE-PHASE 15- & 20-AMPERE OUTLETS INSTALLED IN VARIOUS DESCRIBED ROOMS OR AREAS SHALL BE PROTECTED BY GFI. ALL OTHERS SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT.



DeMartini Garage

2400 Kenney Lane, Reno, Nevada

DATE	JUL 3, 2019
SCALE	AS NOTED
DESIGNED BY:	JOM
DRAWN BY:	JOM
APPROVED BY:	JOM
PROJECT NUMBER:	KC201907
ELECTRICAL & MECH PLAN	
SHEET NUMBER:	ME1.1
REVISION:	0



1 OVERALL SITE PLAN
 1" = 40'

2 VICINITY MAP
 2" N.T.S.

2400 KINNEY LANE

PROJECT LOCATION

NOTES:

- JURISDICTION IN WASHOE COUNTY.
- EXISTING DETACHED ACCESSORY BUILDING TO BE REMOVED.
- FIRE HAZARD ZONE IS MODERATE.
- FEMA FLOOD ZONE IS "X".
- LAT: 39.529644, LONG: 119.81364 W.
- AERIAL PHOTO TAKEN FROM WASHOE COUNTY GIS. OBJECT DISTORTION EXISTS DUE TO PARALLAX. PHOTO REFERRED TO BOUNDARY. DRAWN OBJECTS BASED ON FIELD SURVEY AND REPRESENT THE TRUE LOCATIONS.
- ASSUMED BEARING CAPACITY OF NATIVE SOIL IS 2.00 TSI.

CRADING NOTES:

- CONTOURS OF EXISTING TOPOGRAPHY SHOWN ON THE DRAWINGS HAVE BEEN DETERMINED BY FIELD MEASUREMENT OR PHOTOGRAMMETRY METHODS. ACCURACY IS GOVERNED BY THE LIMITATIONS ASSOCIATED WITH THESE METHODS.
- THE CONTRACTOR SHALL MAINTAIN A DUST CONTROL PROGRAM, INCLUDING WATERING OF OPEN AREAS. THE CONTRACTOR SHALL ALSO MAINTAIN CONFORMITY WITH SECTION 0401.05 OF THE WASHOE COUNTY AIR POLLUTION REGULATIONS.
- ALL EXISTING AND NEW UTILITIES SUCH AS MANHOLES, DRAIN INLETS, WATER VALVE BOXES, SEWER CLEANOUTS, AND UTILITY BOXES SHALL BE ADJUSTED TO FINISH GRADE, UNLESS OTHERWISE NOTED. POWER POLES SHALL BE ADJUSTED AS REQUIRED BY THE UTILITIES. TRAFFIC RATED COVERS SHALL BE PROVIDED FOR ALL NEW AND GRADE-ADJUSTED UTILITIES IN ALL PAVED AREAS.
- THE CONTRACTOR SHALL PROVIDE FOR TEMPORARY STORM DRAINAGE AT ALL TIMES DURING CONSTRUCTION.
- THE CONTRACTOR SHALL PROVIDE AND MAINTAIN TEMPORARY SEDIMENTATION COLLECTION FACILITIES TO ENSURE SEDIMENT LADIN WATER DOES NOT ENTER THE NATURAL DRAINAGE OR PUBLIC STORM DRAINAGE SYSTEM. NATURAL VEGETATION SHALL BE MAINTAINED, WHERE POSSIBLE, FROM EROSION OR POHNDING AND TO PROTECT ADJACENT IMPROVEMENTS AND OFF-SITE AREAS FROM AN INFLEX OF STORM WATER.
- THE CONTRACTOR SHALL GRADE ALL AREAS TO DRAIN AND SHALL BE RESPONSIBLE FOR ELIMINATING ALL LOW SPOTS OR PONDING AREAS IN THE PERFORMANCE OF THIS GRADING.
- A GEOTECHNICAL INVESTIGATION REPORT FOR THE PROJECT HAS BEEN PREPARED BY NORTICH GEOTECHNICAL CONSULTANTS. CONTACT NORTICH AT 775-852-7475 TO OBTAIN A COPY. SAID REPORT RECOMMENDS OVER EXCAVATION UNDER THE NEW STRUCTURE. APPROXIMATE LIMITS OF OVER EXCAVATION ARE SHOWN ON THE SECTIONS ON SHEET C-3. ASSUMPTIONS FOR ON-SITE SOILS ARE VALIDATED BY TESTS AND CONDITIONS ARE ENCOUNTERED. CONTRACTOR SHALL CONTACT THE GEOTECHNICAL ENGINEER.
- THE CONTRACTOR SHALL MAINTAIN AN ONGOING PROCESS OF REMOVAL OF ALL SPILLAGE OF ENCAVATION MATERIAL ON ALL PAVED STREETS.
- ALL AREAS DESTROYED AND LEFT UNRECOVERED FOR A PERIOD OF MORE THAN THIRTY (30) DAYS SHALL BE STABILIZED BY THE APPLICATION OF A GRASS PALLETING.
- LAND GRADING SHALL BE ACCOMPLISHED USING METHOD THAT WILL PREVENT DUST FROM MIGRATING BEYOND THE PROPERTY LINES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL EXCAVATION AND SHORING PROCEDURES.
- THE PAVEMENT SURFACE WHEN COMPLETED SHALL BE SMOOTH, DENSE, WELL BOND, AND OF UNIFORM TEXTURE AND APPEARANCE. ALL AREAS SHALL DRAIN AND BE FREE OF STANDING WATER.
- SEE ARCHITECTURAL PLANS FOR EXPANSION JOINT DETAILS AND CONCRETE FINISH REQUIREMENTS.
- FINISH GRADE (FG) REFERS TO THE FINAL CONSTRUCTED ELEVATION DESIRED FOR THE SPECIFIC POINT REFERENCED (CONCRETE, AC, LANDSCAPING, ETC.).
- NO FILL MATERIAL SHALL BE PLACED, SPREAD OR ROLLED DURING UNFAVORABLE WEATHER CONDITIONS. ALL EXCAVATION SHALL BE PROTECTED FROM UNFAVORABLE WEATHER BY COVERING EXPOSED AREAS WITH A SMOOTH LABELED POLYETHYLENE OR IMPERMEABLE MOISTURE FROM ENTERING OR LEAVING THE FILL. WHEN THE WORK IS INTERRUPTED BY RAINS, FILL OPERATIONS SHALL NOT BE RESUMED UNTIL THE FIELD DENSITY TESTS BY NORTICH INDICATE THAT THE MOISTURE CONTENT AND DENSITY OF THE PREVIOUSLY PLACED FILL ARE SATISFACTORY.
- FROZEN FILL MATERIALS SHALL NOT BE USED. NO FILL SHALL BE BASE OR ASPHALT PAVEMENT BE PLACED ON FROZEN GROUND.
- ALL PROJECT ENTRANCES SHALL BE STABILIZED WITH DRAIN ROCK PRIOR TO GRADING OPERATIONS IN ORDER TO MINIMIZE THE TRANSPORT OF SEDIMENT. A SILT FENCE SHALL BE INSTALLED AROUND THE PERIMETER OF THE CONSTRUCTION SITE PRIOR TO COMMENCEMENT OF GRADING OPERATIONS.

CALL BEFORE YOU DIG

811

ONE CALL NUMBER
 48 HR. NOTICE REQUIRED
<http://nevada811.org/>

KINNEY LANE FIRE RATING

2012 International Wildland Urban Interface Code (IWUIC)
 Fire Hazard Zone = Moderate
 Water Supply: Distance to existing standpipe = 92 feet < 1000
 Existing one-acre pond has sufficient capacity

Therefore, conforming

Defensible Space:

- Required Defensible Space = 30 feet
- Distance to nearest tree crown = 24 feet > 10 feet
- Least distance between adjacent tree crowns = 7 feet < 10 feet [IWUIC 603.2.2]

Therefore, non-conforming

Per IWUIC Table 503.1, IR-2 construction required.

CLASS 2 IGNITION RESISTANT CONSTRUCTION

503.1 General. Class 2 ignition-resistant construction shall be in accordance with Sections 503.2 through 503.11.

503.2 Roofing. Class 2 ignition-resistant construction shall be constructed in accordance with one of the following: A, roof assembly or an approved noncombustible roof covering. For roof covering and roof decking, the space at the eave ends shall be firestopped to preclude entry of flames or embers, or perform cap sheet complying with ASTM D 3999 installed over 5/8\"

503.2.1 Roof valleys. When provided, valley flashings shall be not less than 0.019 inch (0.48 mm) (No. 26 galvanized steel) or 0.016 inch (0.41 mm) (No. 26 aluminum) minimum 36-inch-wide (914 mm) underlayment consisting of two layers of 30-year-old felt with ASTM D 3999 nonreinforced cap sheet complying with ASTM D 3999 installed over the underlayment.

503.2.2 Protection of openings. Openings, cracks, and joints shall be enclosed with solid materials with a minimum

DEMARTINI GARAGE

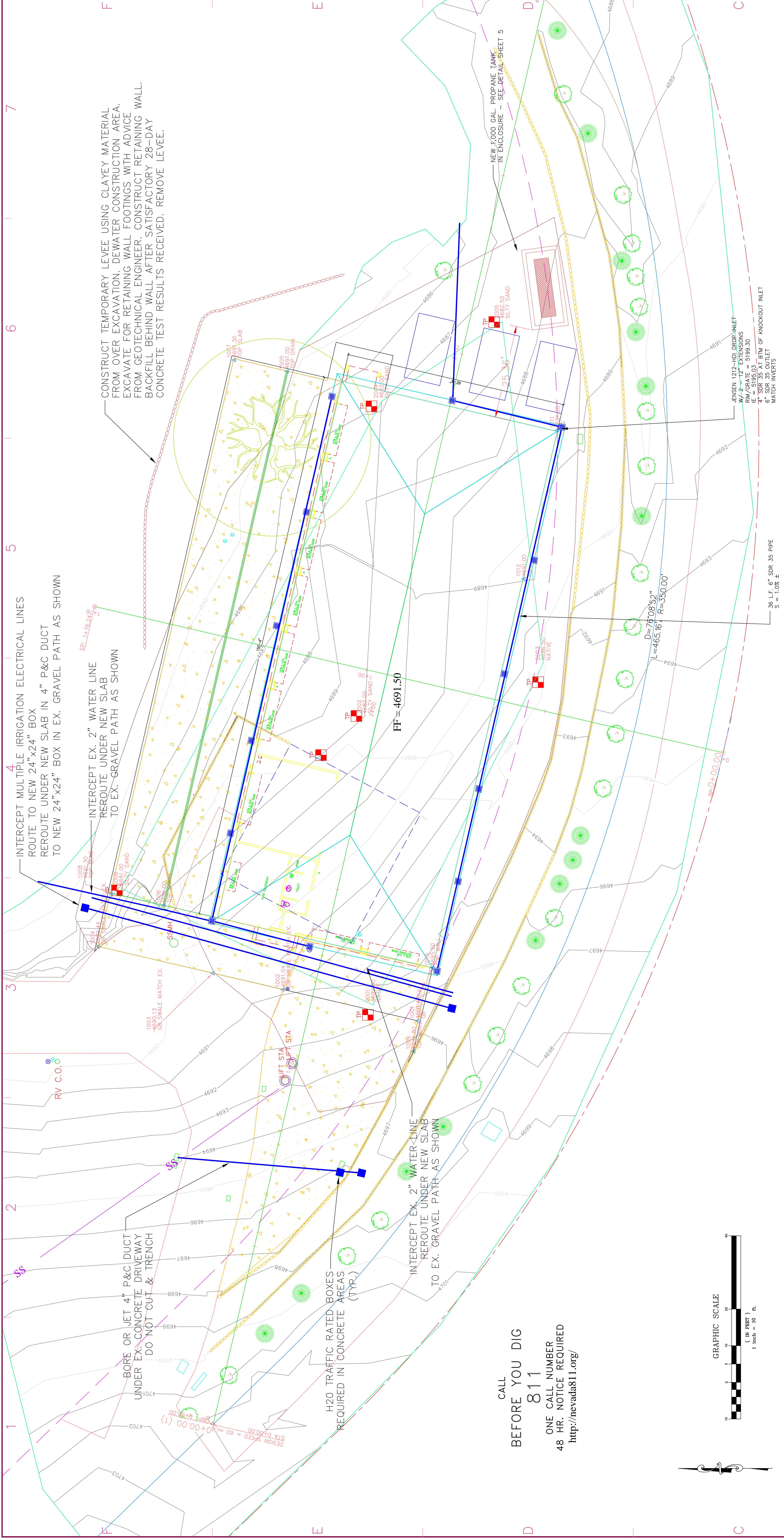
FOR
SITE PLAN

OC ENGINEERING
P.O. BOX 10037
RENO, NEVADA 89510
PHONE: (775) 785-1111
FAX: (775) 785-1112
WWW: WWW.OCENGINEERING.COM
EMAIL: INFO@OCENGINEERING.COM
RENO OFFICE: 1095 DRYDEN DRIVE

DEMARTINI GARAGE

MARK	DATE	DESCRIPTION
PROJECT NO.	2008-04-07	
PROJECT FILE	DEM PLAN P-28-102000	
DRW BY:		
CHECK BY:		
DATE:		

SHEET TITLE: C-2



CONSTRUCT TEMPORARY LEVEE USING CLAYEY MATERIAL FROM OVER EXCAVATION. DEWATER CONSTRUCTION AREA. EXCAVATE FOR RETAINING WALL FOOTINGS WITH ADVISE FROM GEOTECHNICAL ENGINEER. CONSTRUCT RETAINING WALL. BACKFILL BEHIND WALL AFTER SATISFACTORY 28-DAY CONCRETE TEST RESULTS RECEIVED. REMOVE LEVEE.

INTERCEPT MULTIPLE IRRIGATION ELECTRICAL LINES ROUTE TO NEW 24"x24" BOX
REROUTE UNDER NEW SLAB IN 4" P&C DUCT TO NEW 24"x24" BOX IN EX. GRAVEL PATH AS SHOWN

INTERCEPT EX. 2" WATER LINE
REROUTE UNDER NEW SLAB
TO EX. GRAVEL PATH AS SHOWN

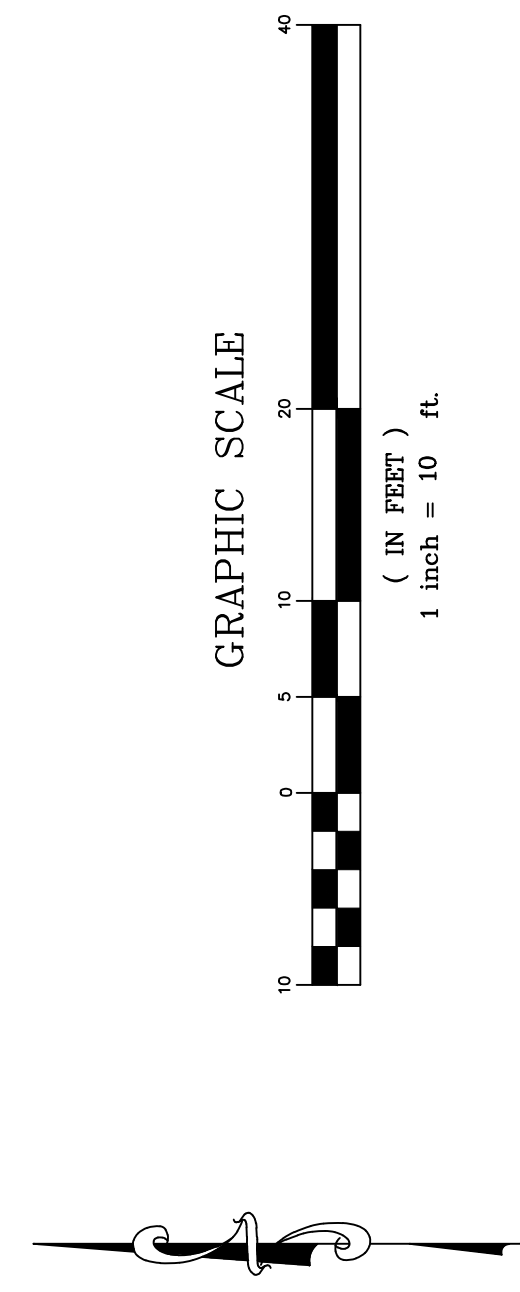
BORE OR JET 4" P&C DUCT
UNDER EX. CONCRETE DRIVEWAY
DO NOT CUT & TRENCH

H2O TRAFFIC RATED BOXES
REQUIRED IN CONCRETE AREAS
(TYP.)

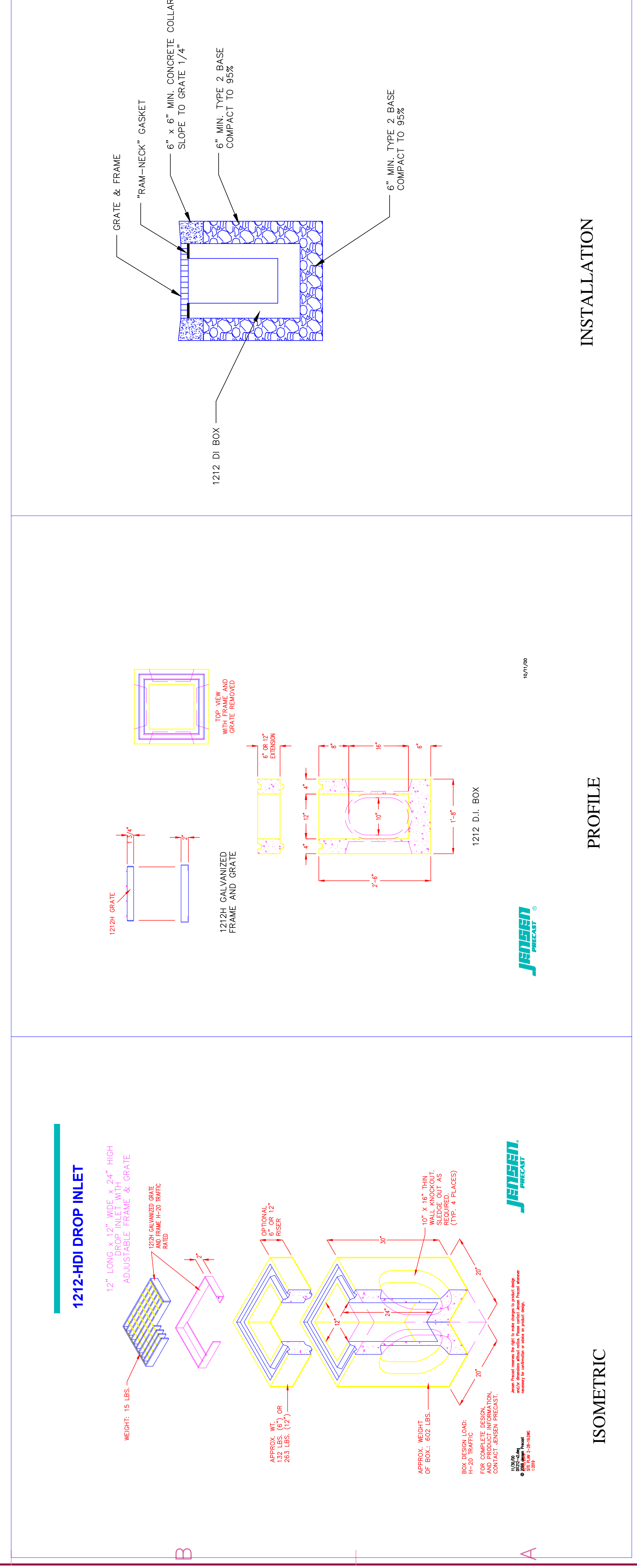
INTERCEPT EX. 2" WATER LINE
REROUTE UNDER NEW SLAB
TO EX. GRAVEL PATH AS SHOWN

FF = 4691.50

CALL
BEFORE YOU DIG
811
ONE CALL NUMBER
48 HR. NOTICE REQUIRED
<http://nevada811.org/>



1 DETAILED SITE PLAN
1" = 10'



ISOMETRIC

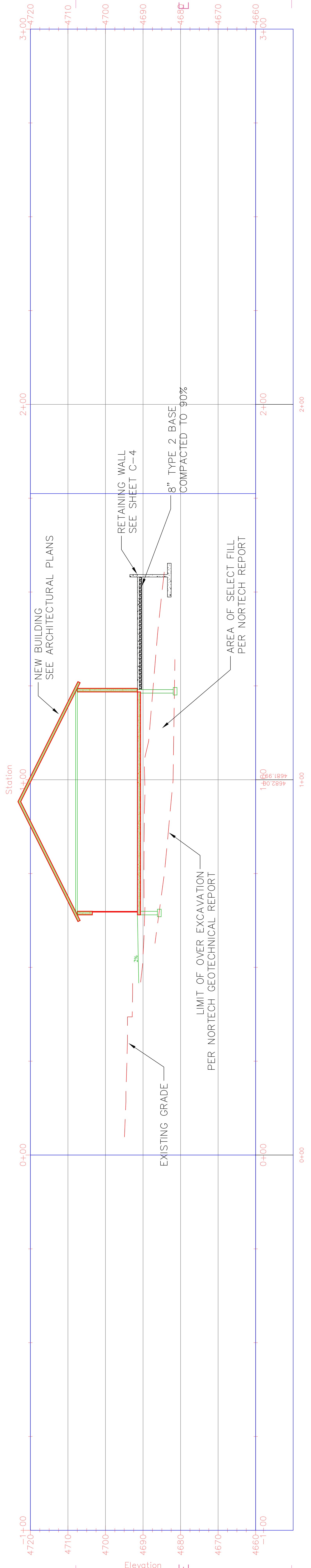
PROFILE

INSTALLATION

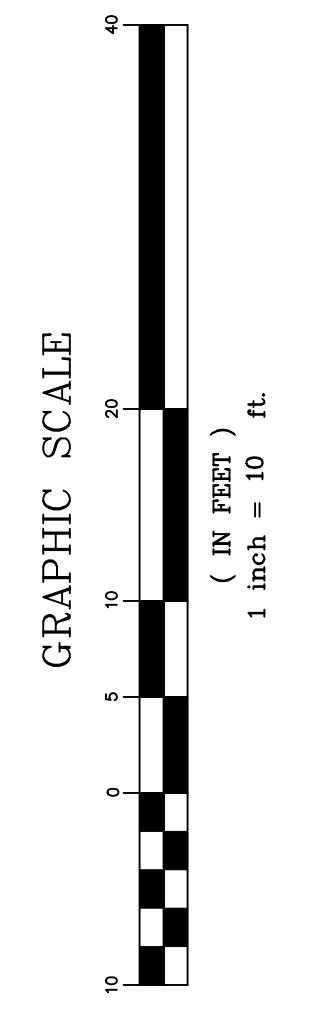
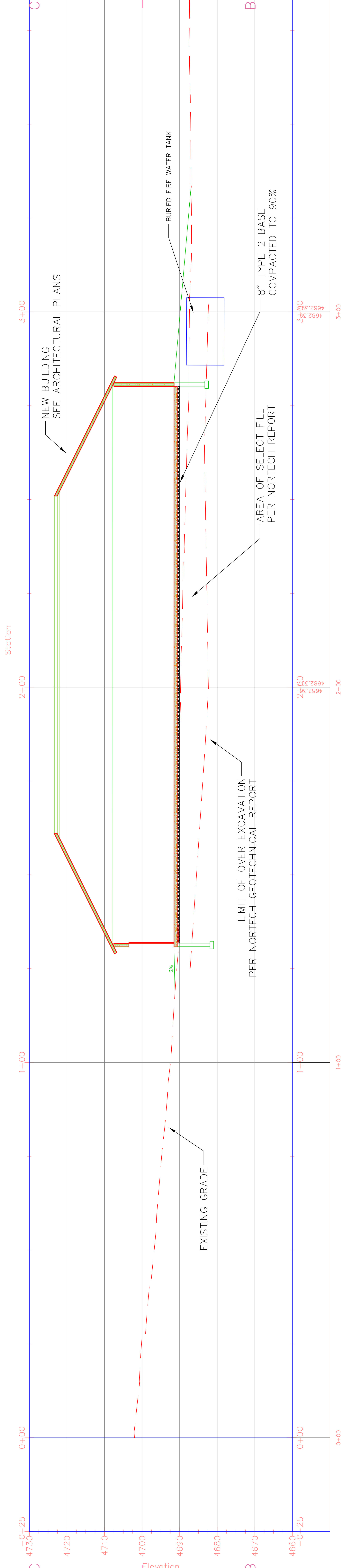
2 JENSEN 1212 HDI DROP INLET
N.T.S.

CALL
BEFORE YOU DIG
811
ONE CALL NUMBER
48 HR. NOTICE REQUIRED
<http://nevada811.org/>

NS SECTION PROFILE



W-E SECTION PROFILE

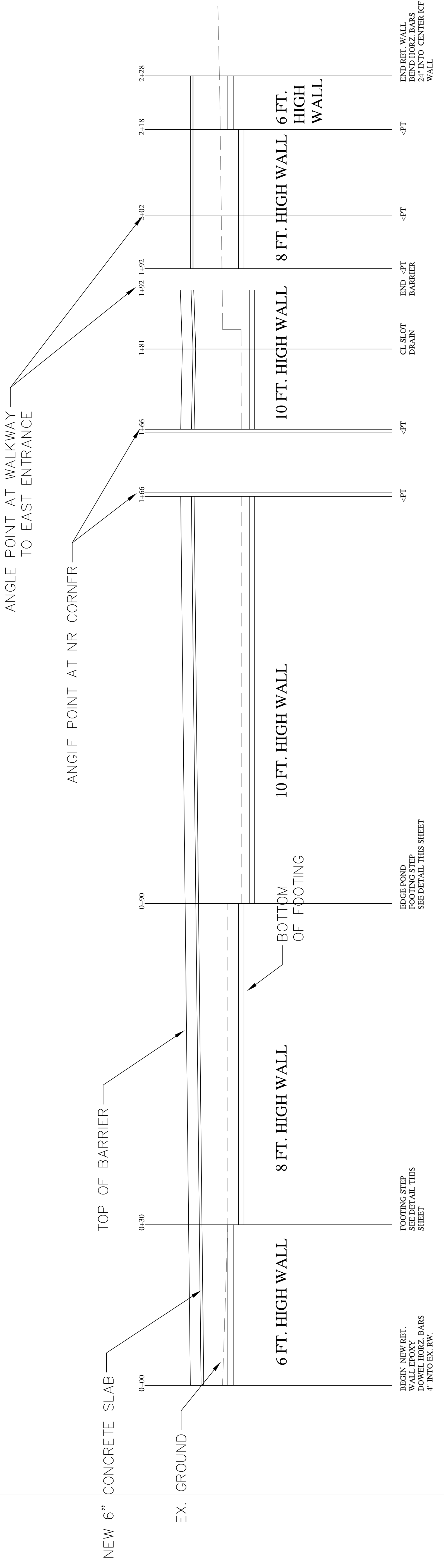
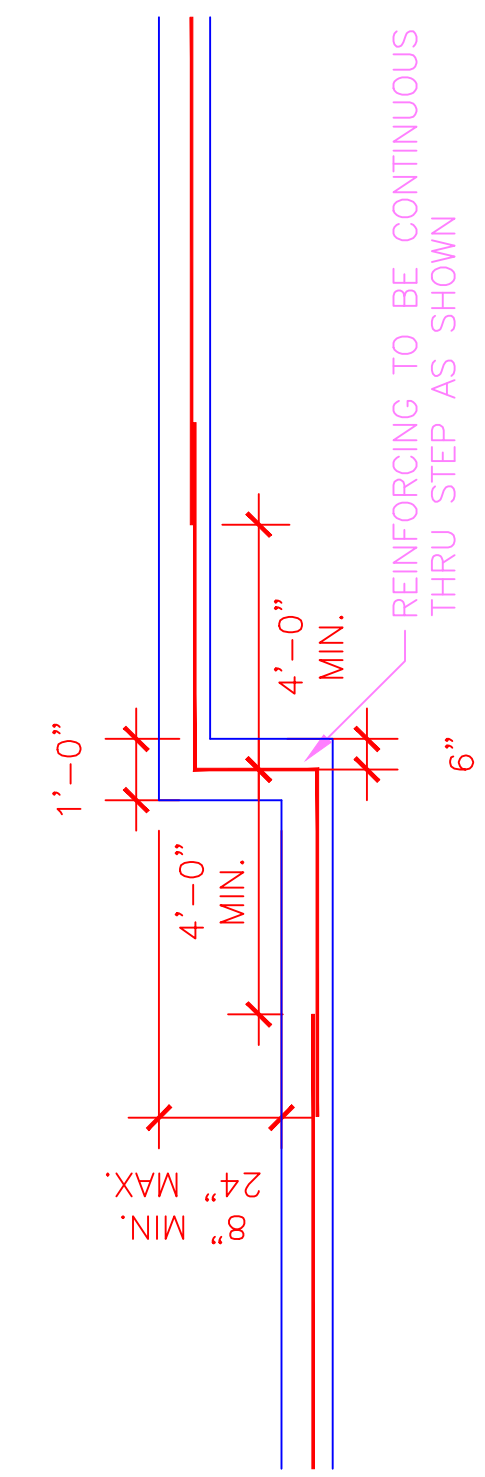


SITE PLAN
FOR
DEMARTINI GARAGE
2400 KINNEY LANE, RENO, NEVADA 89511
A. P. N. 222-073-03

OC ENGINEERING
P.O. BOX 0007
RENO, NEVADA 89500
PHONE: 775-785-0000
FAX: 775-785-0001
WWW: WWW.OCENGINEERING.COM
RENO OFFICE: 1095 DRYDEN DRIVE

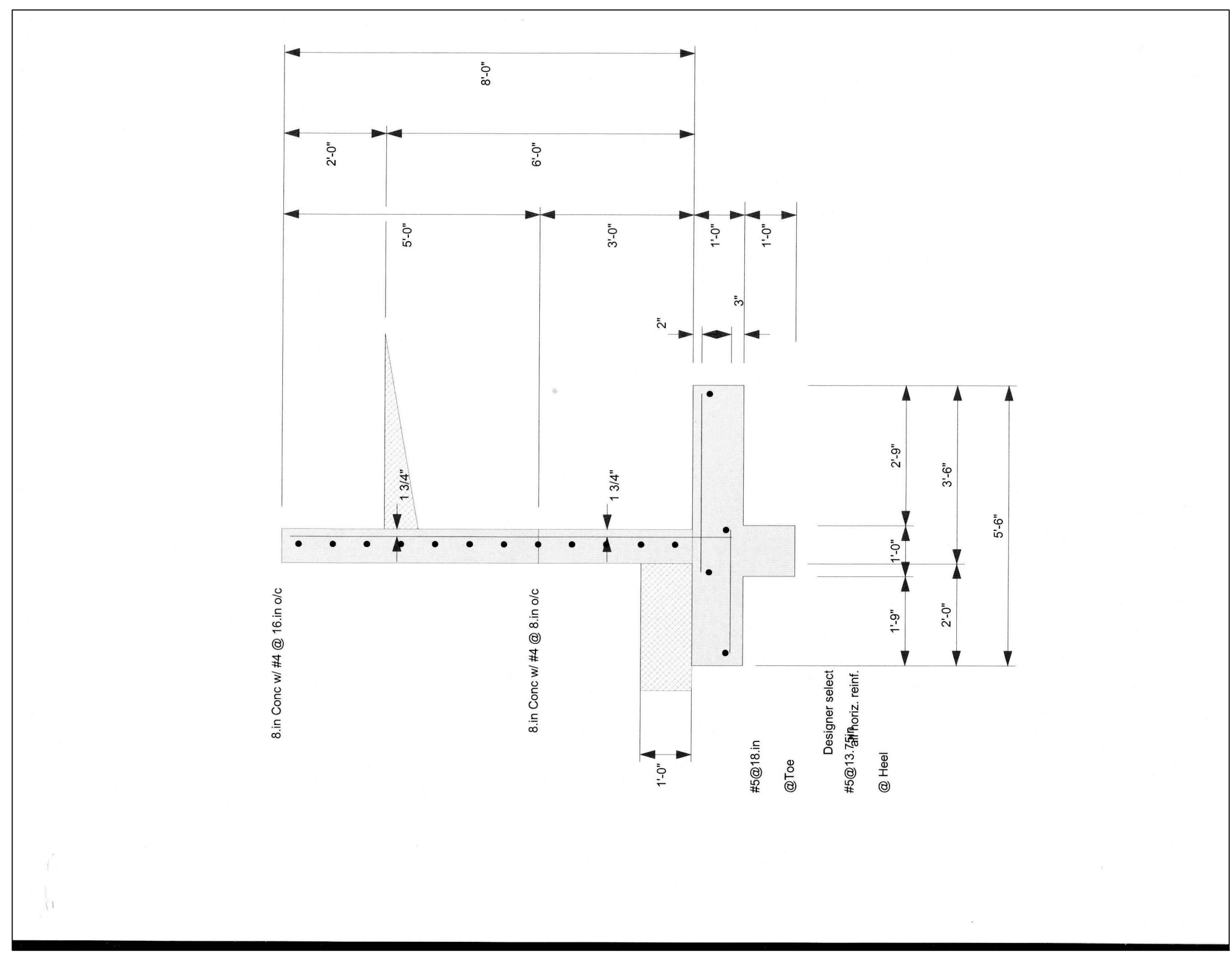
DEMARTINI GARAGE

DATE	DESCRIPTION
PROJECT NO.	208-14-0
DATE OF FILE	SEE PLAN P-28-122899
DRAWN BY	
CHECKED BY	
COPYRIGHT	
SHEET TITLE	C-3 - SECTIONS
SHEET NO.	7

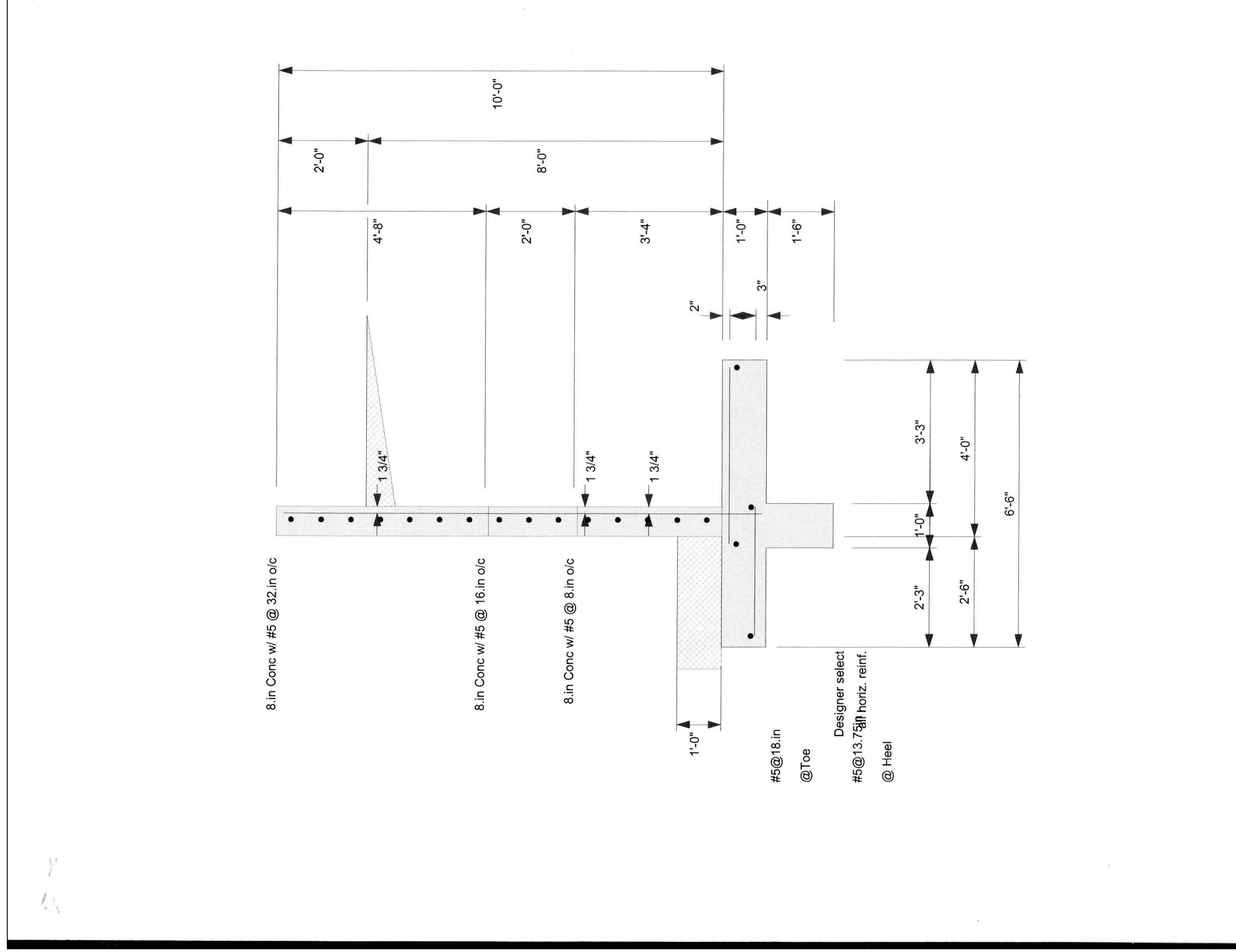


1 FOOTING STEP PLAN
N. T. S.

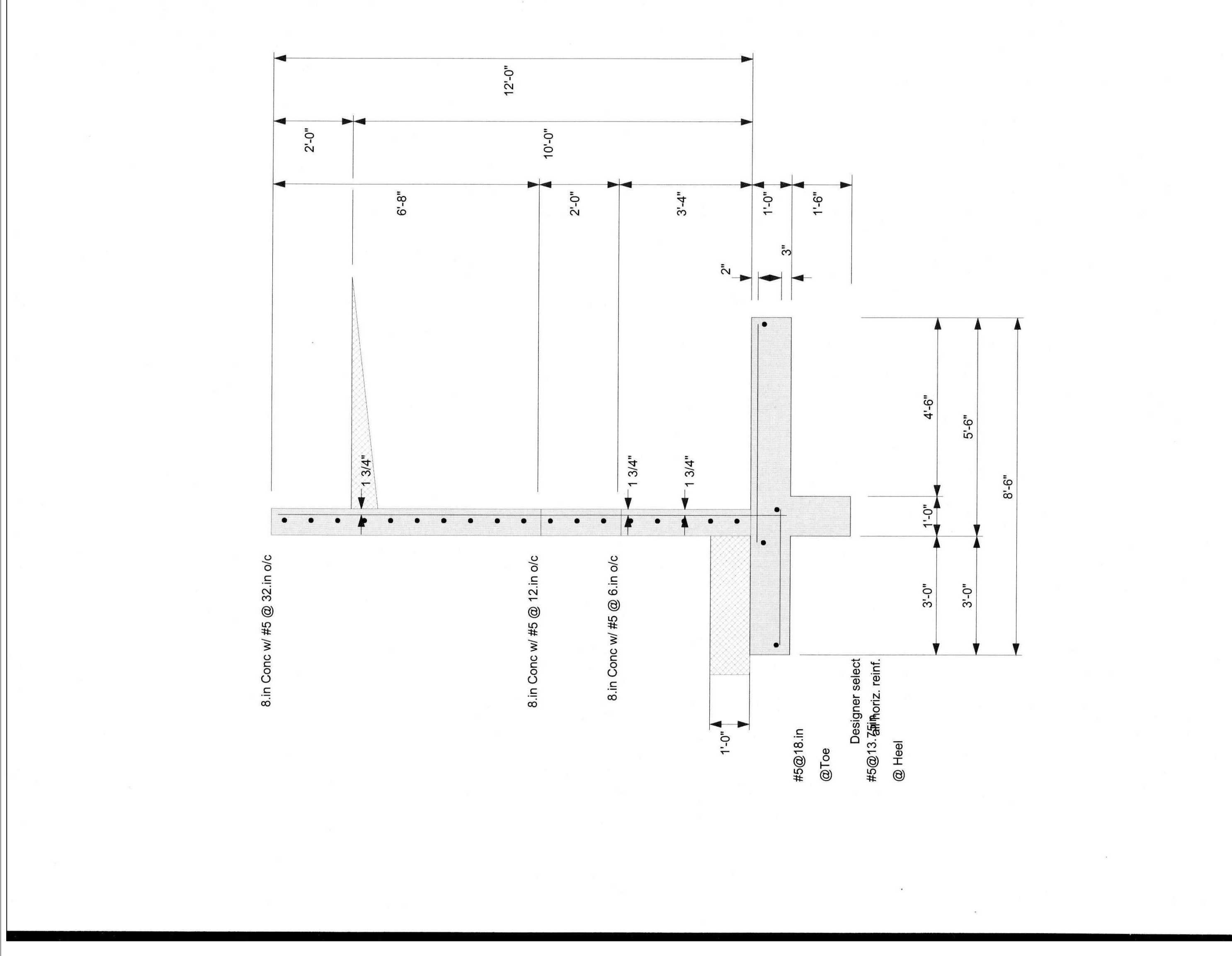
2 RETAINING WALL PROFILE
1" = 10'



3 6 FT. HIGH WALL DETAIL
1" = 2'



4 8 FT. HIGH WALL DETAIL
1" = 2'



5 10 FT. HIGH WALL DETAIL
1" = 2'

SITE PLAN

FOR DEMARTINI GARAGE

2400 KINNEY LANE, RENO, NEVADA 89511
A. P. N. 222-073-03

OC ENGINEERING
P. O. BOX 0007
RENO, NEVADA 89500
TEL: 775-784-9999
E-MAIL: OCENGR@OCENGR.COM
RENO OFFICE: 1095 SPRYEN DRIVE

DEMARTINI GARAGE

DATE	DESCRIPTION
PROJECT NO.	208-18-01
EXD DWG FILE	SITE PLAN P-28-18280
DRAWN BY	
CHECKED BY	
COPYRIGHT	

SHEET TITLE: C-4 - DETAILS

